

PROPOSED ALTERATIONS AND ADDITIONS AT 1061 BOTANY ROAD, MASCOT



ARCHITECTURE DRAWING LIST

		REVISION		
NO.	DESCRIPTION	REVISED BY	DATE	DATE
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SCHEDULES

		REVISION		
NO.	DESCRIPTION	REVISED BY	DATE	DATE
S 100	FINISHES SCHEDULE	A	DA	10.03.2023

LANDSCAPE

		REVISION		
NO.	DESCRIPTION	REVISED BY	DATE	DATE
L 100	GROUND FLOOR LANDSCAPE PLAN	A	DA	10.03.2023
L 101	FIRST FLOOR LANDSCAPE PLAN	A	DA	10.03.2023
L 102	THIRD FLOOR LANDSCAPE PLAN	A	DA	10.03.2023

CONSULTANTS LIST

ACCESS	LISKOWSKI ACCESS
ACOUSTIC	XXXXX
BCA	XXXXX
BASIX	XXXXX
GEOTECH / CONTAMINATION (PSI)	XXXXX
LANDSCAPE	LISKOWSKI ARCHITECTS
QUANTITY SURVEY	XXXXX
SEE	GAT & ASSOCIATES
STORMWATER / FLOOD ADVICE	XXXXX
SURVEY / GFA VALIDATION	D&C SURVEYING PTY LTD
TOWN PLANNER	XXXXX
TRAFFIC	XXXXX

WASTE MANAGEMENT PLAN PREPARED BY LISKOWSKI ARCHITECTS

ALL PLANS TO BE PRINTED IN COLOR **FOR REVIEW**

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FOR	ISSUE	DATE	AMENDMENT	FOR	ISSUE	DATE	AMENDMENT	DRAFTING
DA	A	10.03.2023	DA					DRAWN: Author CHECKED: PO APPROVED: LL

New Shop Top Housing at 1061 Botany Road, Mascot

Scale: As indicated @ A1

COVER PAGE AND SHEET LIST

Date: **10.03.2023**

SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST, REDFERN HILLS, NSW
 PH. 02 9212 3266 | E. info@liskowski.com.au | www.liskowski.com.au
 Nominated Architect Laurie Liskowski 4224

Drawing Number:
211101 **DA001** A

GENERAL NOTES

CONCRETE CONSTRUCTION TO COMPLY WITH AS2870.1 & AS3600.

TIMBER CONSTRUCTION TO COMPLY WITH AS1684.2, STEEL ROOFING TO COMPLY WITH AS1562.1.

STEEL ROOF FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS FOR THE NOTED CONDITIONS.

ENSURE DOORS TO SANITARY COMPARTMENTS COMPLY WITH THE BUILDING CODE OF AUSTRALIA F2.5 AND HAVE EITHER:
A) LIFT OFF HINGES FOR INWARD SWINGING DOORS OR
B) OUTWARDS SWINGING DOORS.

ALL AREAS UNDER BUILDING WORK TO BE PROTECTED FROM TERMITE ATTACK IN ACCORDANCE WITH AN APPROVED METHOD UNDER A.S.3660.1

TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) PLUS ALL AMENDMENTS, AND THE LIGHT TIMBER FRAMING CODE A.S.1684, PART 2 FOR NON-CYCLONIC AREA AND A.S.1684 PART 1 FOR CYCLONIC AREAS.

WET AREAS TO COMPLY WITH NCC 2015 VOL 1 TABLE F1.7 BCA Vol II, 3.8.1 & AS3740-2010

WEEPHOLES IN MASONRY WALLS AT 900hrs.

GLASS INSTALLATION TO COMPLY WITH AS1288 & AS2047.

MANHOLE POSITION APPROX. ONLY. TO BE DETERMINED ON SITE. PROVIDE ALCOHOL BARRIER BETWEEN LEAD FLASHING & ZINCALUME VALLEY AS REQUIRED.

HWS TO BE KEPT 100mm AWAY FROM WALLS.

PROTECTION OF LINTELS IN MASONRY TO COMPLY WITH THE PROVISIONS OF PART 3.3.3.4 OF THE NCC.

DOWNPIPES TO COMPLY AS/NZS3500.3.2OR AS/NZS3500.5.

GREEN EFFICIENT HOT WATER SYSTEMS TO COMPLY WITH BCA SUSTAINABLE BUILDING PRACTICES.

AAA RATED SHOWER HEADS IN RETICULATED TOWN WATER TO COMPLY WITH BCA SUSTAINABLE BUILDING PRACTICES.

ENERGY-EFFICIENT LIGHTING (I.E. FLUORESCENT OR COMPACT FLUORESCENT TO BE USED TO ILLUMINATE AT LEAST 40% OF INTERNAL FLOOR SPACE)

ALL TOILET SUITES TO BE DUAL FLUSH

WATER PRESSURE LIMITING DEVICES TO RESTRICT MAXIMUM WATER PRESSURE TO NO MORE THAN 500 KILOPASCALS

HOT WATER RETICULATION SHALL BE TEMPERATURE CONTROLLED TO 50° CELSIUS OR BELOW, TO BATHS, SHOWERS AND BASINS IN ACCORDANCE WITH AS 3500

STRUCTURAL BEAMS SHOWN ARE INDICATIVE ONLY REFER TO S.ENG. FOR SIZING, TYPE, MATERIAL & LOCATION

GENERAL SITE NOTES

THE NATIONAL CONSTRUCTION CODE (NCC) & RELEVANT AMENDMENTS AND UPDATES, INCLUDING THE STANDARDS ASSOCIATION OF AUSTRALIA (SAA) CODES SHALL BE THE MINIMUM STANDARDS FOR COMPLIANCE.

CHECK ALL DIMENSIONS OF SITE AND BUILDING SET OUT PLANS AND CHECK AGAINST SURVEYORS SITE SET OUT. CLARIFY ANY DISCREPANCY TO NOTED DIMENSIONS OR OFFSETS PRIOR TO CONSTRUCTION OF ANY WORK. ENSURE SURVEYORS WORK RELATES TO CURRENT SITE FIELD WORK AND NOT COMPLETED VIDE TITLE.

NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS.

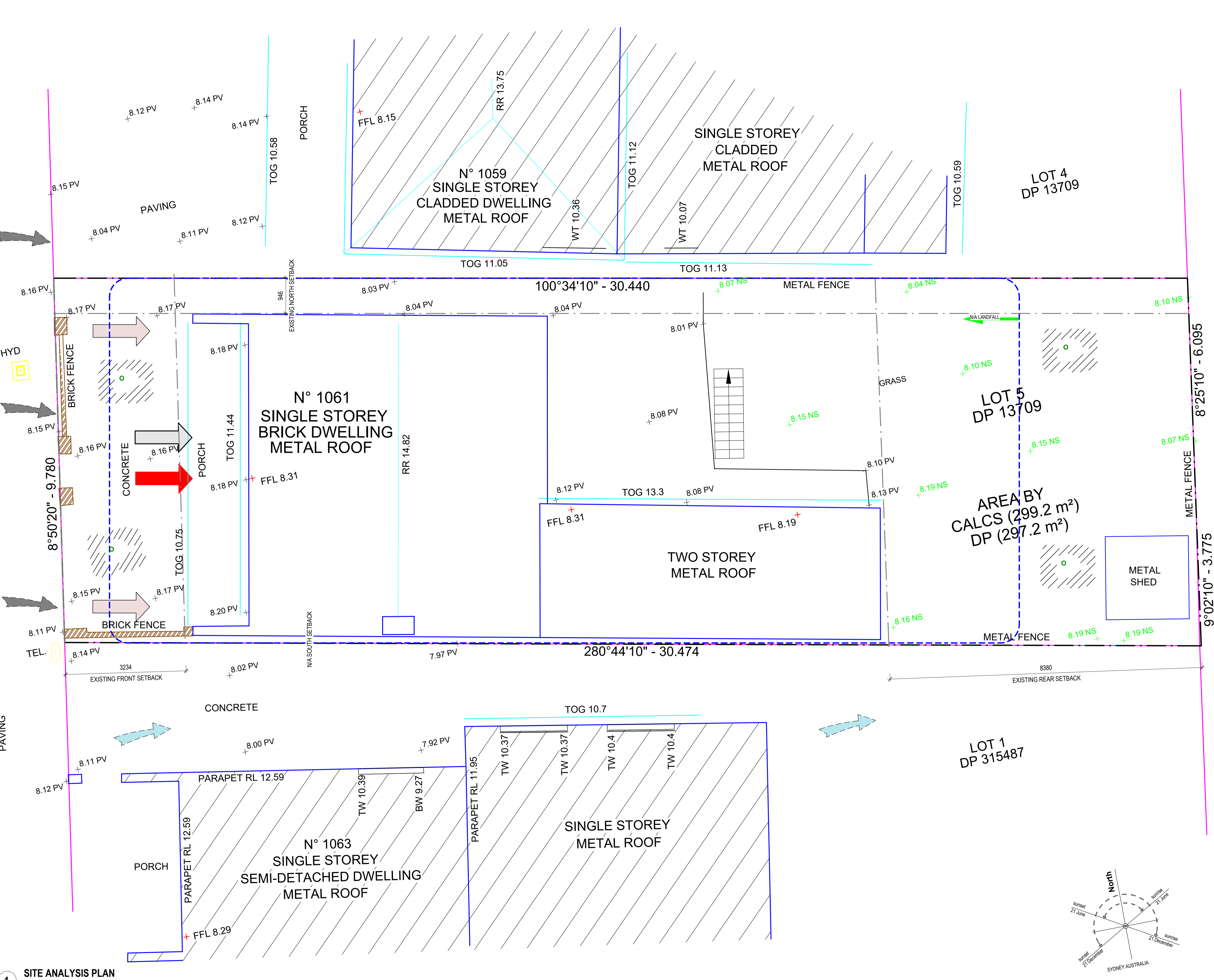
CHECK HYDRAULIC AND MECHANICAL PLANS FOR SET OUT AND SIZING OF SERVICE DUCTS WHERE APPLICABLE.

CO-ORDINATE ALL CONSULTANTS DOCUMENTS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE RELEVANT CONSULTANTS PRIOR TO THE CONSTRUCTION OF THAT PART OF THE WORKS.

CHECK ON SITE - OPENINGS BEFORE FABRICATION OF DOORS, WINDOWS & ANY OTHER FIXTURES. GIVEN SIZES ARE FOR QUOTATION PURPOSES ONLY AND MUST BE CONFIRMED ON SITE.

CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT CONFIRM WITH RELEVANT CONSULTANT.

REFER SPECIFIC CONDITIONS OF BUILDING APPROVAL FOR ANY ADDITIONAL REQUIREMENTS



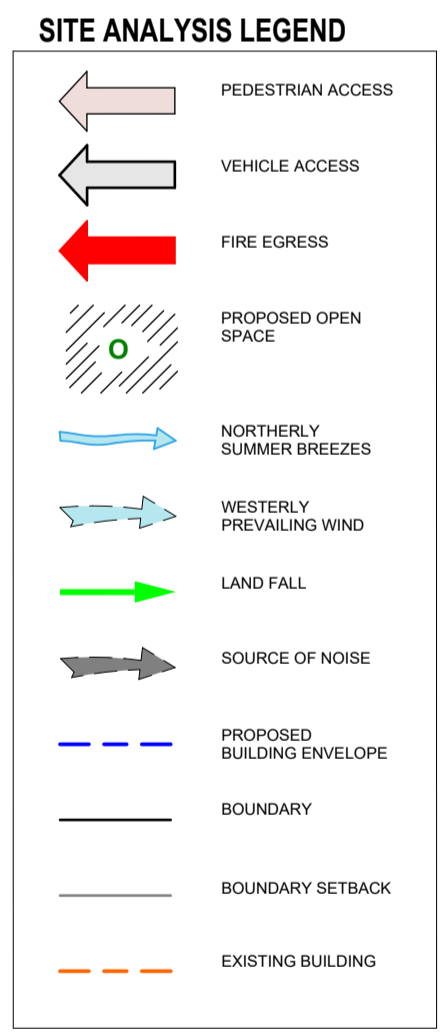
PLANNING DETAILS (LEP 2021)

Land Zoning:	B2
Max. Height Of Building:	14m
Floor Space Ratio:	2:1
Min. Lot Size:	NA
Heritage Item:	NA
Land Reservation Acquisition:	NA
Foreshore Building Line:	NA
Acid Sulphate Soils:	Class 4
Active Street Frontage:	Yes

Address: 1061 BOTANY ROAD MASCOT 2020
 Lot/Section/Plan No: 5/-/DP13709
 Council: BAYSIDE COUNCIL

SITE AREA CALCULATIONS

Site Area:	=	299.2 m ²
EX. Ground Floor:	=	100 m ²
Gross Floor Area:	=	198 m ²
FSR allowed:	=	2:1
Existing FSR:	=	.33 : 1
Existing Landscaping:	=	180 m ² (160)



COMMERCIAL GFA

COMMERCIAL	35 m ²
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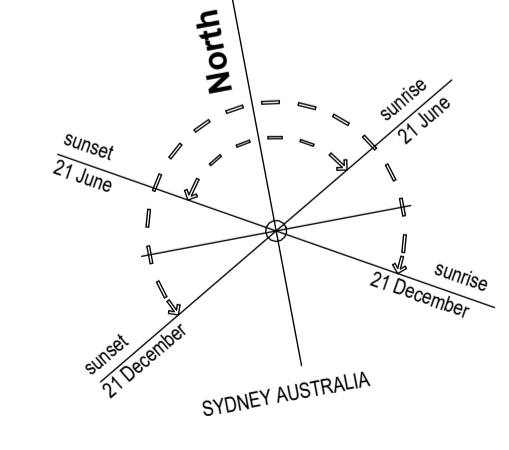
UNIT 1 GFA

1F - UNIT 1	62 m ²
2F - UNIT 1	62 m ²
3F - UNIT 1	57 m ²

UNIT 2 GFA

1F - UNIT 2	61 m ²
2F - UNIT 2	61 m ²
3F - UNIT 2	56 m ²

SITE AREA 299.2 m²
 PROPOSED GFA 394 m²
 ALLOWABLE FSR 2:1
 ACTUAL FSR 1.31:1



1 SITE ANALYSIS PLAN
1:50

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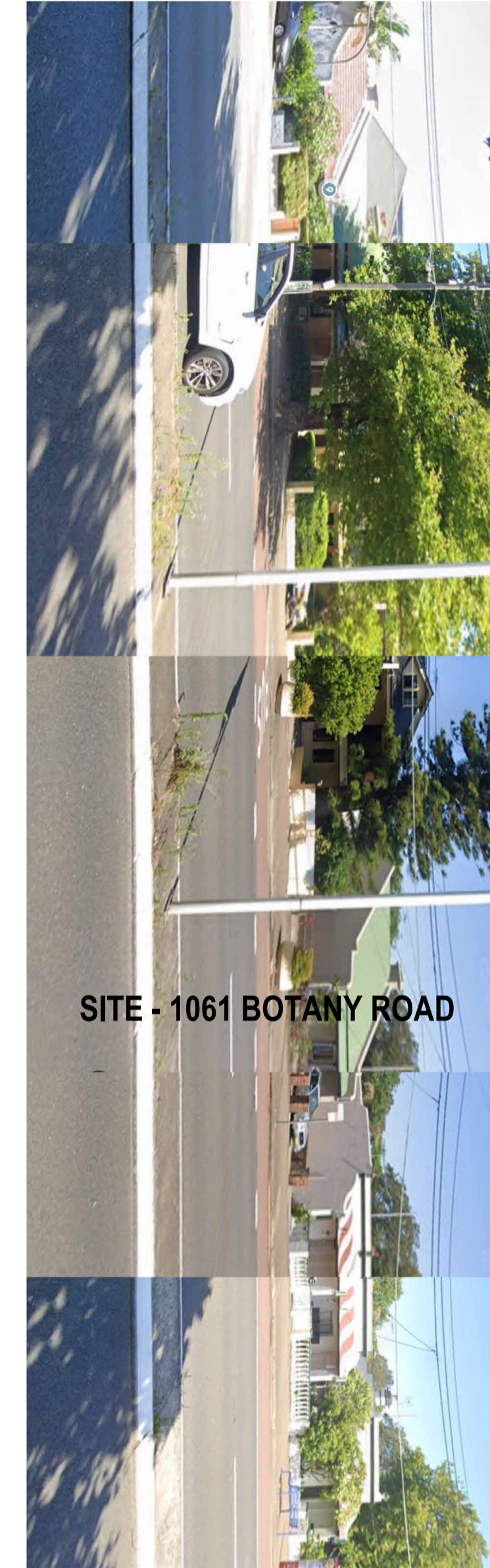
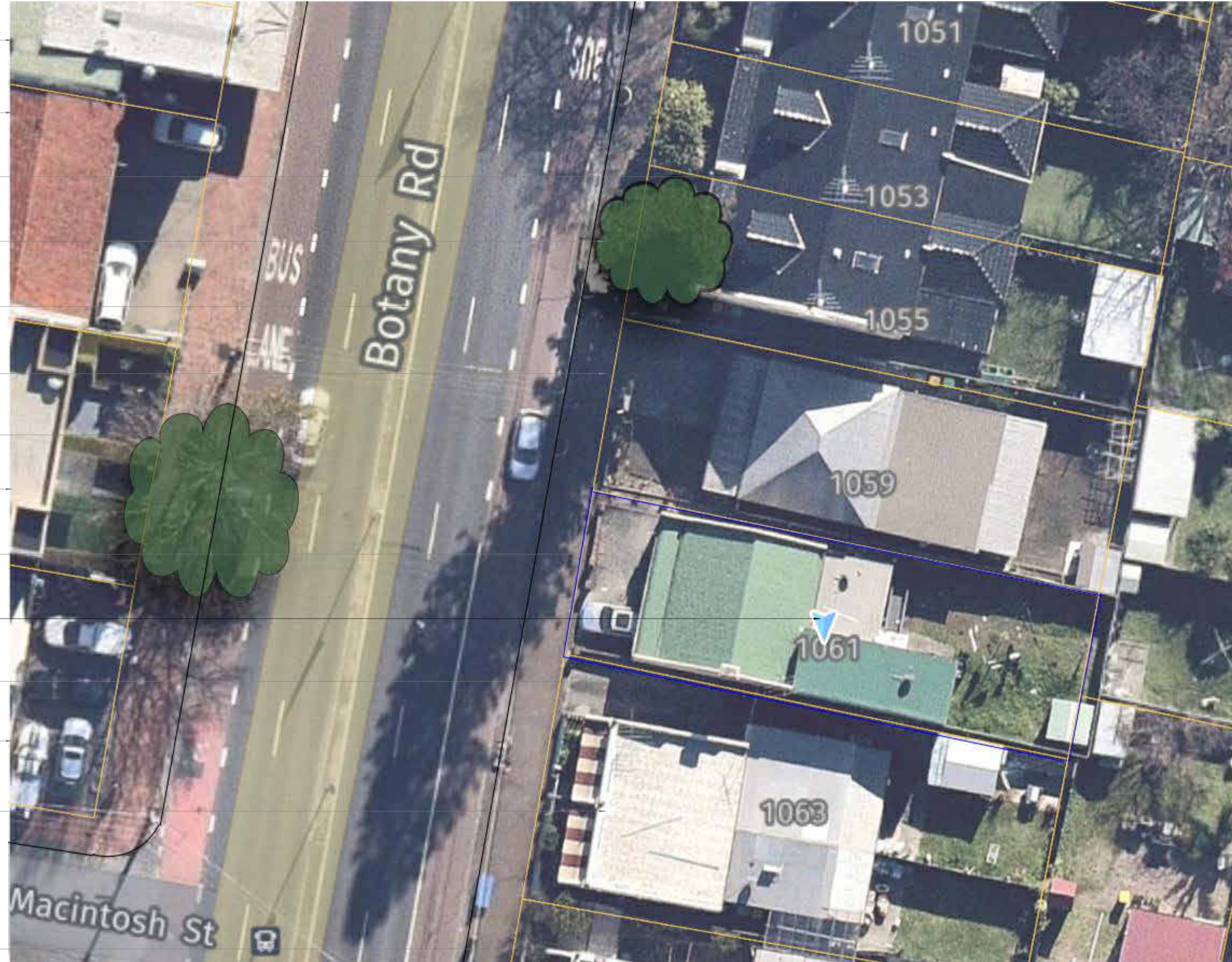
New Shop Top Housing at 1061 Botany Road, Mascot

SITE ANALYSIS

SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW
 PH. 02 9212 3266 | E. info@liskowski.com.au | www.liskowski.com.au
 Nominated Architect Laurie Liskowski 4224

Scale: As indicated @ A1
 Date: 10.03.2023
 Drawing Number: 21101 DA002 A

- No. 830 COMMERCIAL
- No. 840 COMMERCIAL
- 2/3 STORY TOWNHOUSES
- HERITAGE ITEM; LANDSCAPE - TREE
- BOTANY ROAD
- RE-ZONED SHOPTOP HOUSING
- STREET TREE
- No. 842 COMMERCIAL
- RE-ZONED SHOPTOP HOUSING
- SITE - 1061 BOTANY ROAD**
- 14m HOB
- No. 844 COMMERCIAL
- RE-ZONED SHOPTOP HOUSING
- BUS STOP



SITE - 1061 BOTANY ROAD

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DA	A	10.03.2023	DA					Author
								Checked
								Approved
								Approver

New Shop Top Housing at 1061 Botany Road, Mascot

STREETSCAPE ANALYSIS

SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW
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 Nominated Architect Laurie Liskowski 4224

Scale: 1 : 1 @ A1

Date: 10.03.2023

Drawing Number: 211101 **DA003** A



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APPROVED: Approver

New Shop Top Housing at 1061 Botany Road, Mascot

STREETSCAPE CONTEXT

SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW
 PH. 02 9212 3266 | E. info@liskowski.com.au | www.liskowski.com.au
 Nominated Architect Laurie Liskowski 4224

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APPROVED: Approver

New Shop Top Housing at 1061 Botany Road, Mascot

STREETSCAPE PHOTOMONTAGE

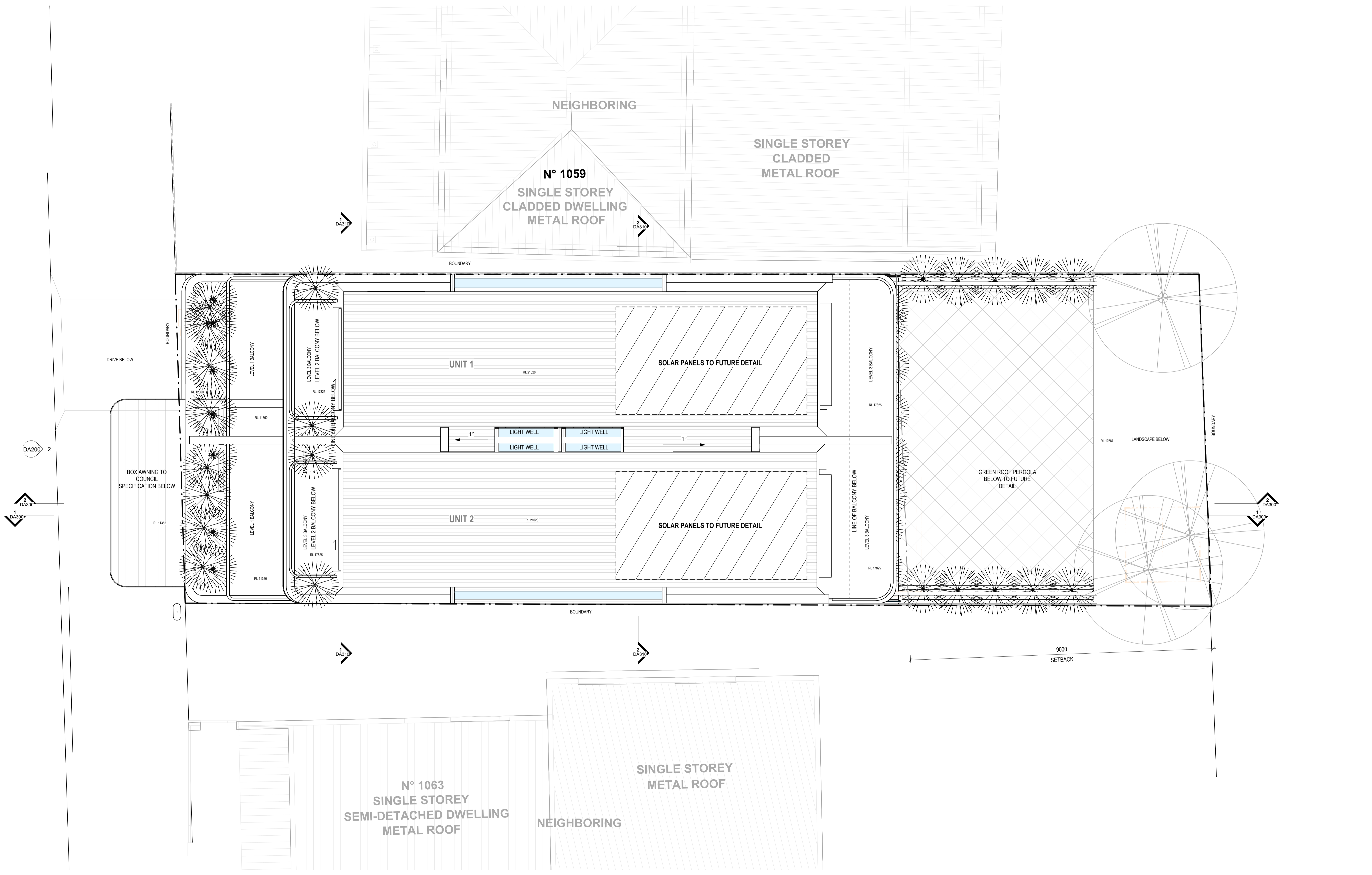
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 Nominated Architect Laurie Liskowski 4224

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1 ROOF PLAN

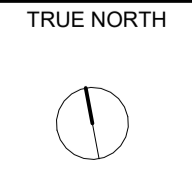
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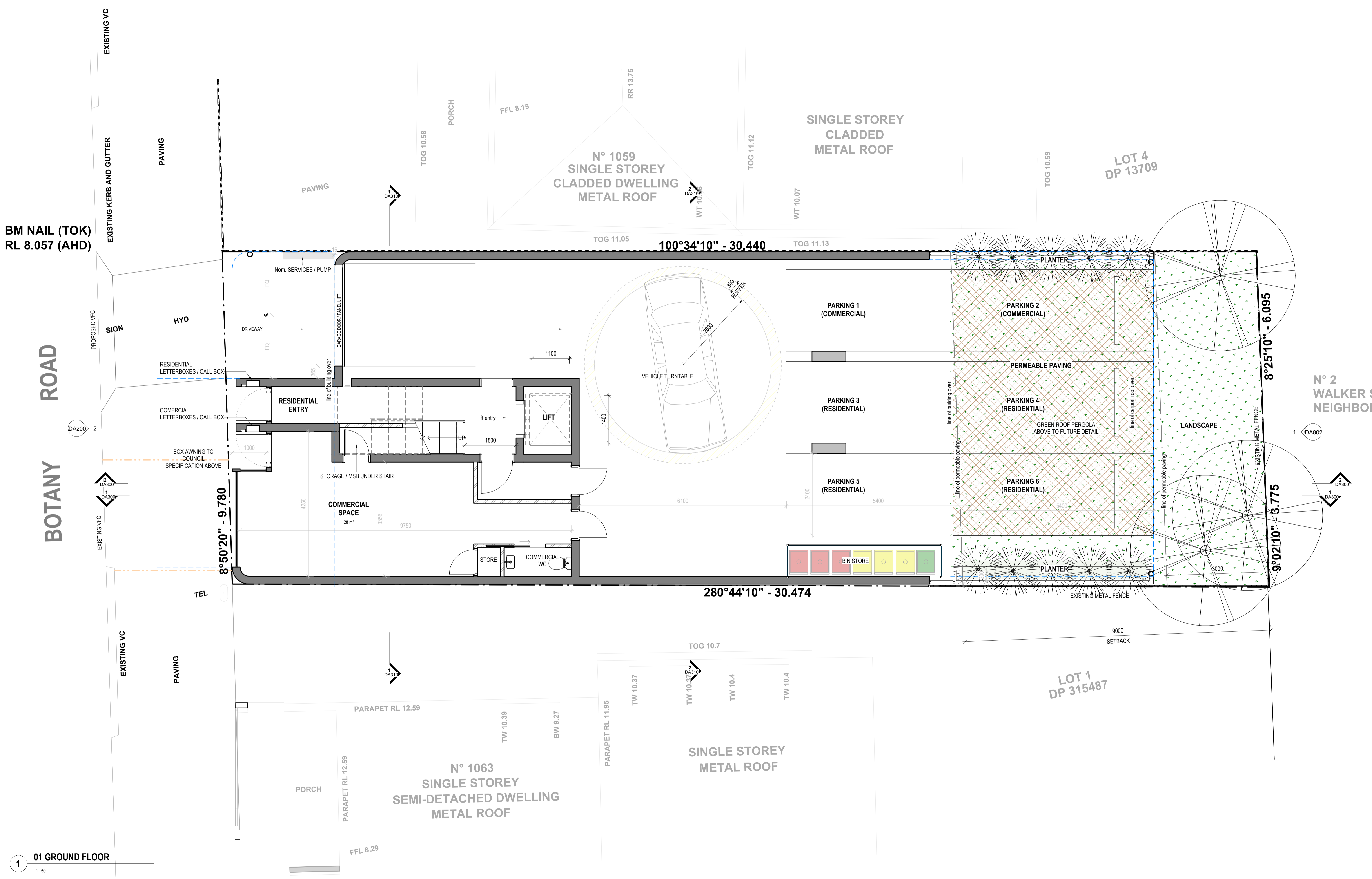
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DA	A	10.03.2023	DA				

New Shop Top Housing at 1061 Botany Road, Mascot SITE + ROOF PLAN		Scale: 1:50 @ A1 Date: 10.03.2023 Drawing Number: 211101 DA101 A
SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW PH. 02 9212 3266 E. info@liskowski.com.au www.liskowski.com.au Nominated Architect Laurie Liskowski 4224		

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 CHECKED: PO
 APPROVED: LL



BM NAIL (TOK)
RL 8.057 (AHD)

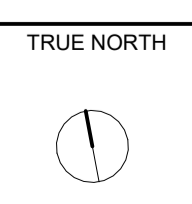
BOTANY ROAD

1 01 GROUND FLOOR
1:50

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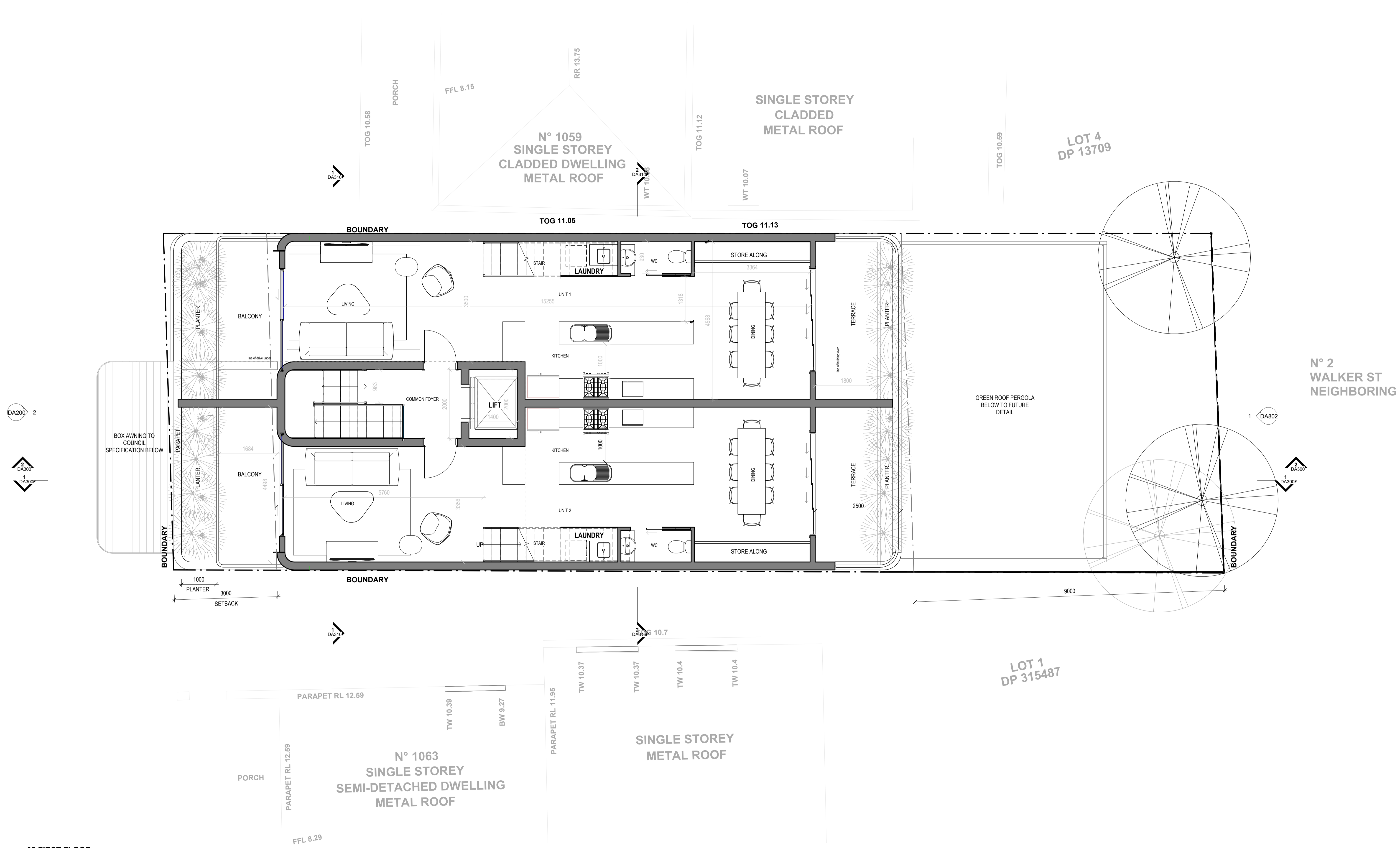
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DA	A	10.03.2023	DA				

New Shop Top Housing at 1061 Botany Road, Mascot GROUND FLOOR PLAN SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST, REDFERN HILLS, NSW PH. 02 9212 3266 E. info@liskowski.com.au www.liskowski.com.au Nominated Architect Laurie Liskowski 4224		Scale: 1:50 @ A1 Date: 10.03.2023 Drawing Number: 211101 DA102 A
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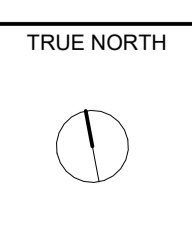


1 02 FIRST FLOOR
1:50

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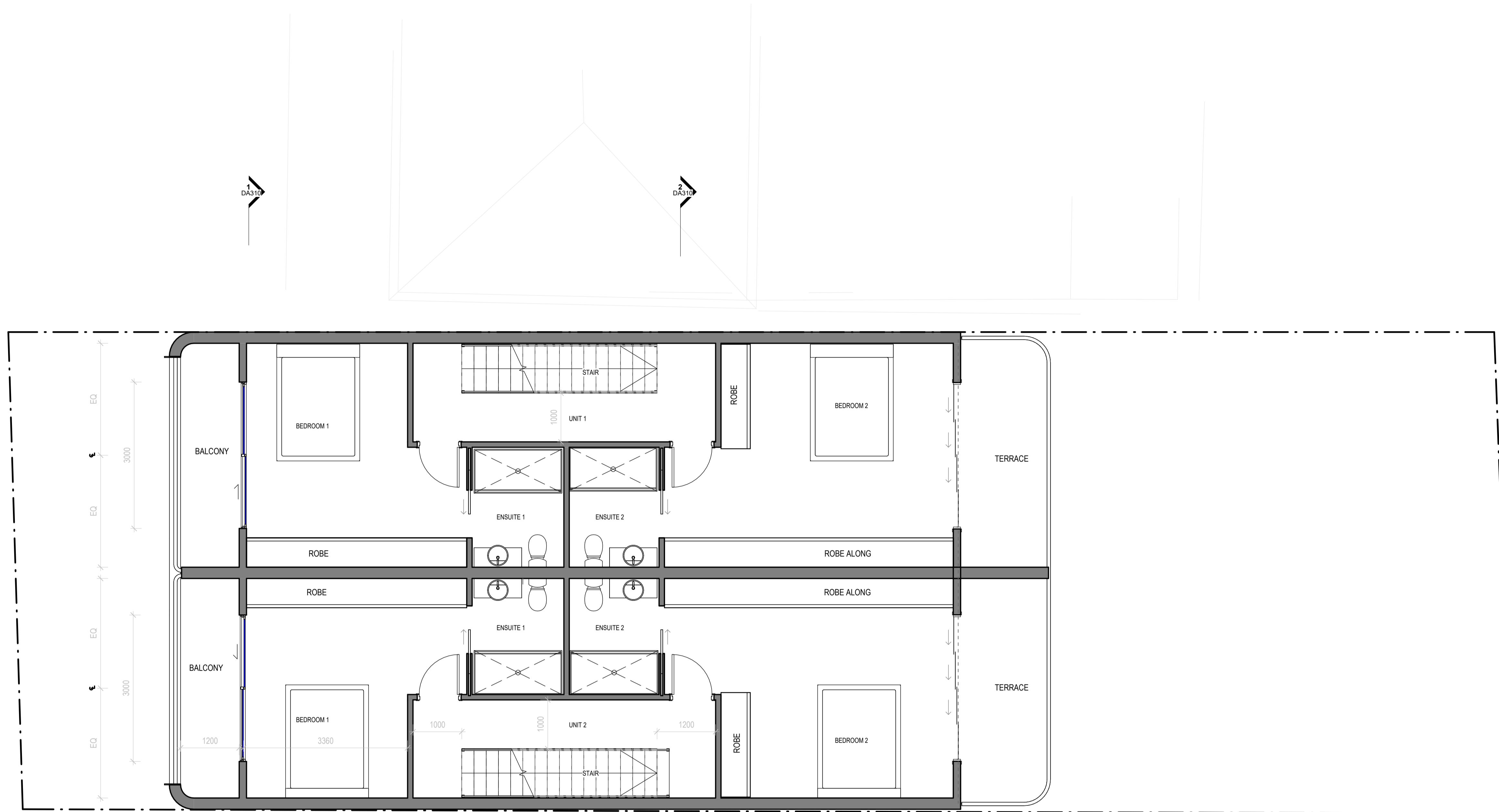
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New Shop Top Housing at 1061 Botany Road, Mascot FIRST FLOOR PLAN SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW PH. 02 9212 3266 E. info@liskowski.com.au www.liskowski.com.au Nominated Architect Laurie Liskowski 4224		Scale: 1:50 @ A1 Date: 10.03.2023 Drawing Number: 211101 DA103 A
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DA200 2
S 100 2
DA802 2

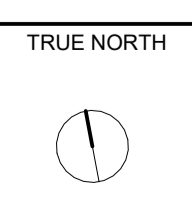
1 DA802
2 DA300
1 DA300

02 SECOND FLOOR
1:50

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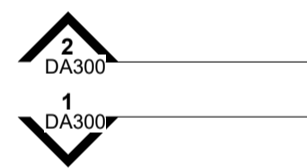
New Shop Top Housing at 1061 Botany Road, Mascot		Scale: 1:50 @ A1
SECOND FLOOR PLAN		Date: 10.03.2023
SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW PH. 02 9212 3266 E. info@liskowski.com.au www.liskowski.com.au Nominated Architect Laurie Liskowski 4224		Drawing Number: 211101 DA104 A



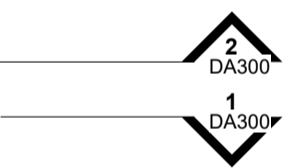
DA200 2

S 100 2

DA802 2



1 DA802



03 THIRD FLOOR

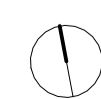
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TRUE NORTH



FOR	ISSUE	DATE	AMENDMENT	FOR	ISSUE	DATE	AMENDMENT
DA	A	10.03.2023	DA				

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APPROVED: LL

New Shop Top Housing at 1061 Botany Road, Mascot

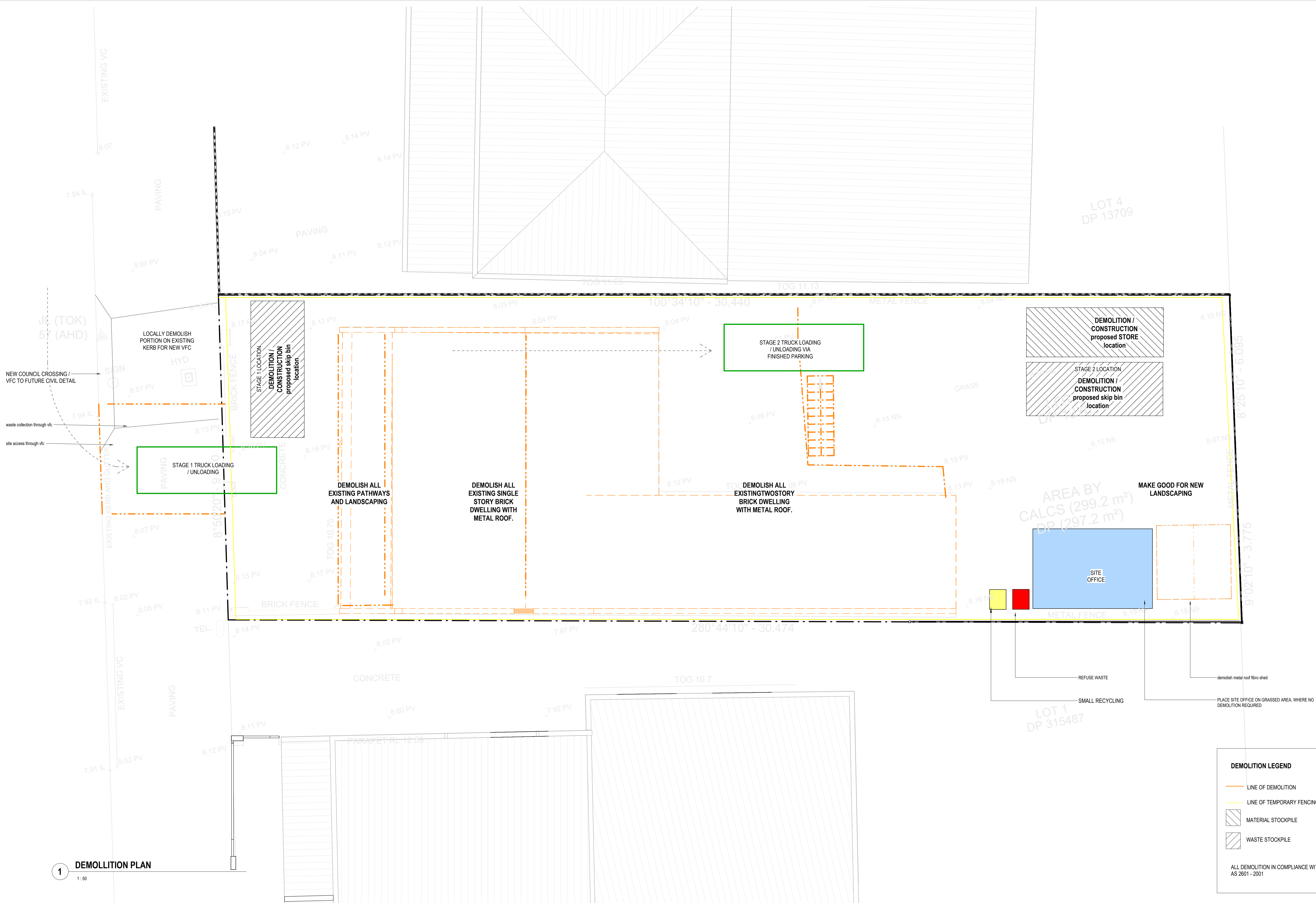
THIRD FLOOR PLAN

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Nominated Architect Laurie Liskowski 4224

Scale: 1 : 50 @ A1

Date: 10.03.2023

Drawing Number: 211101 DA105 A

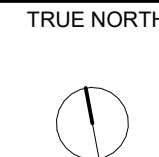


1 DEMOLITION PLAN
1:50

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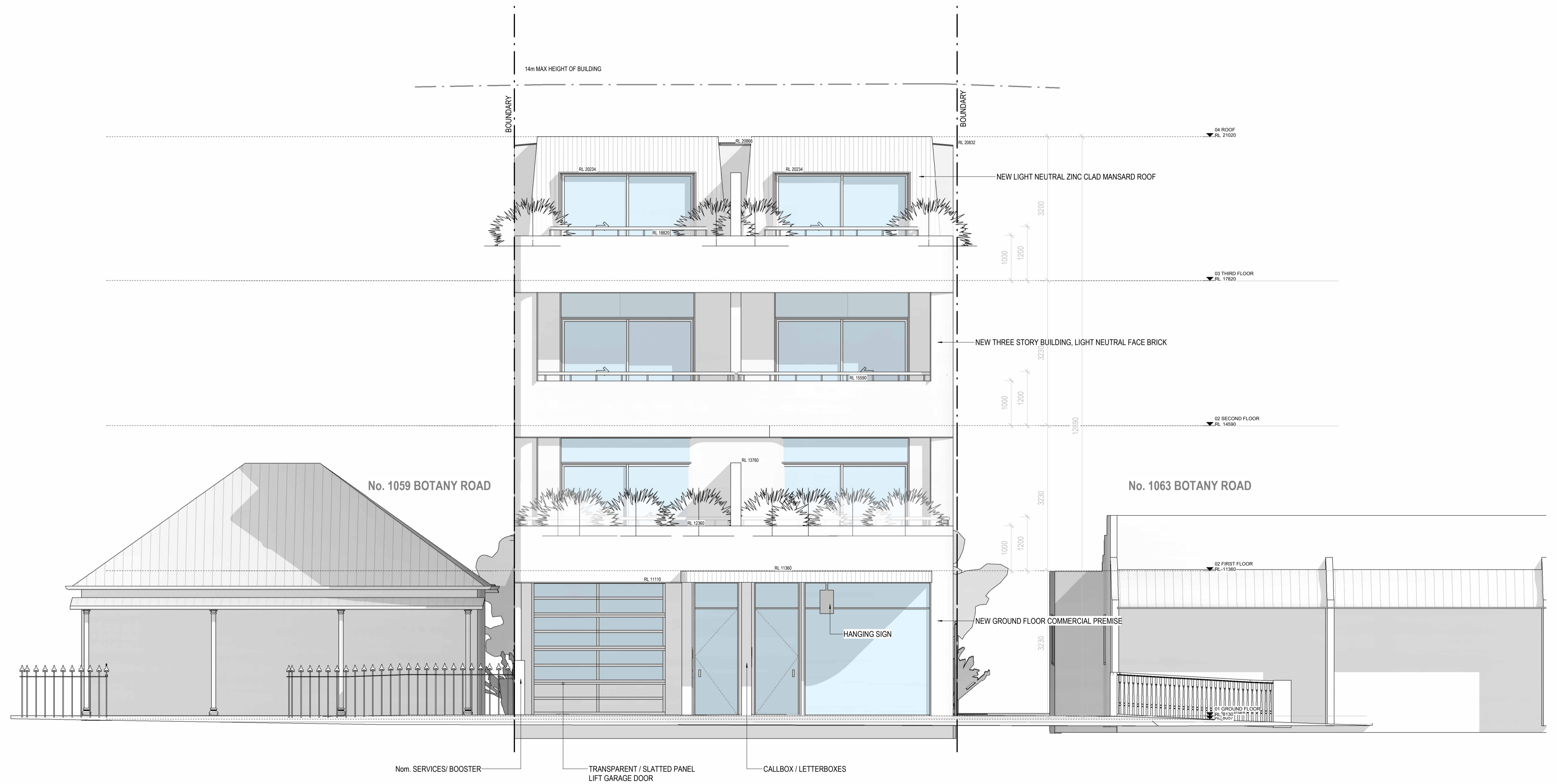


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DRAFTING
 DRAWN:
 Author
 CHECKED:
 PO
 APPROVED:
 LL

New Shop Top Housing at 1061 Botany Road, Mascot
DEMOLITION + CONSTRUCTION MANAGEMENT PLAN
 SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW
 PH. 02 9212 3266 | E. info@liskowski.com.au | www.liskowski.com.au
 Nominated Architect Laurie Liskowski 4224

Scale: As indicated @ A1
 Date: **10.03.2023**
 Drawing Number: 211101 **DA106** A



2 WEST - BOTANY ROAD

1:50

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CHECKED:	PO
APPROVED:	LL

New Shop Top Housing at 1061 Botany Road, Mascot

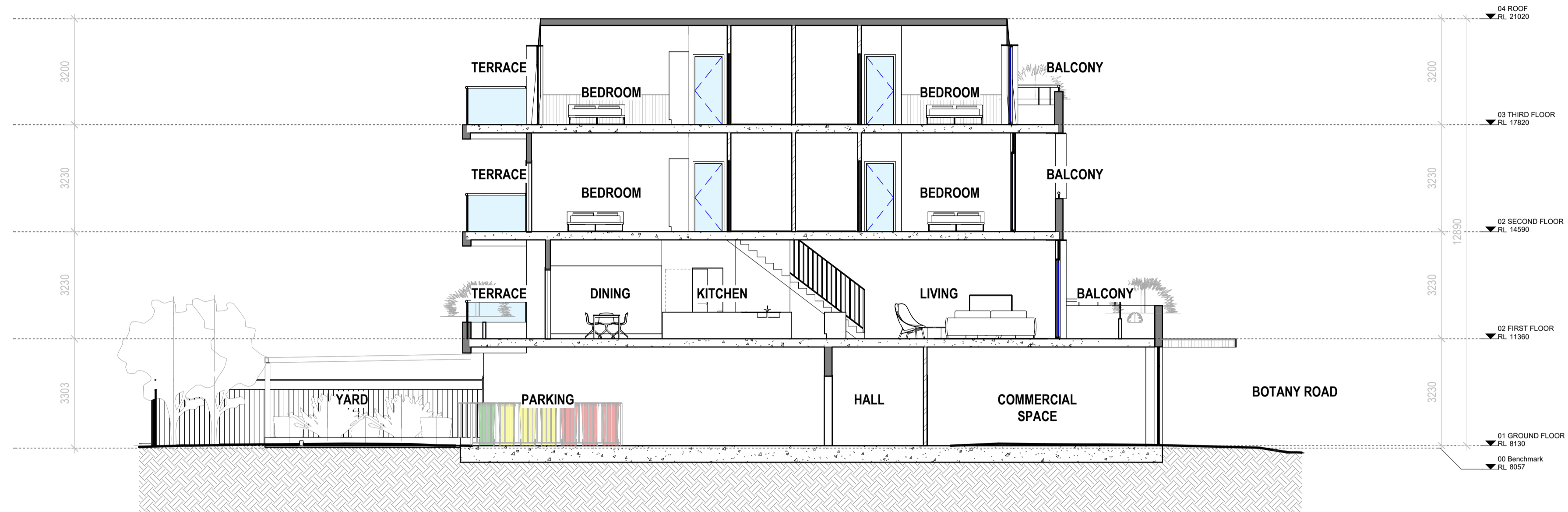
ELEVATION (Botany Rd)

SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW
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 Nominated Architect Laurie Liskowski 4224

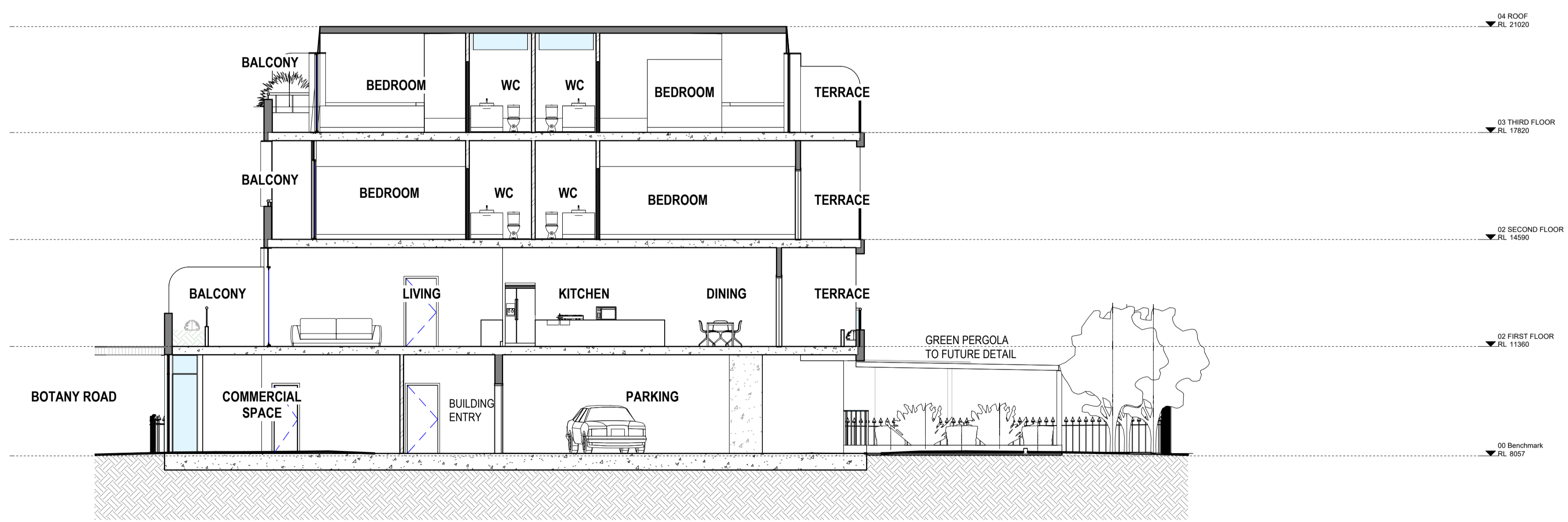
Scale: 1:50 @ A1

Date: 10.03.2023

Drawing Number: 211101 DA200 A



1 LONG SECTION - South
1:100



2 LONG SECTION - North
1:100

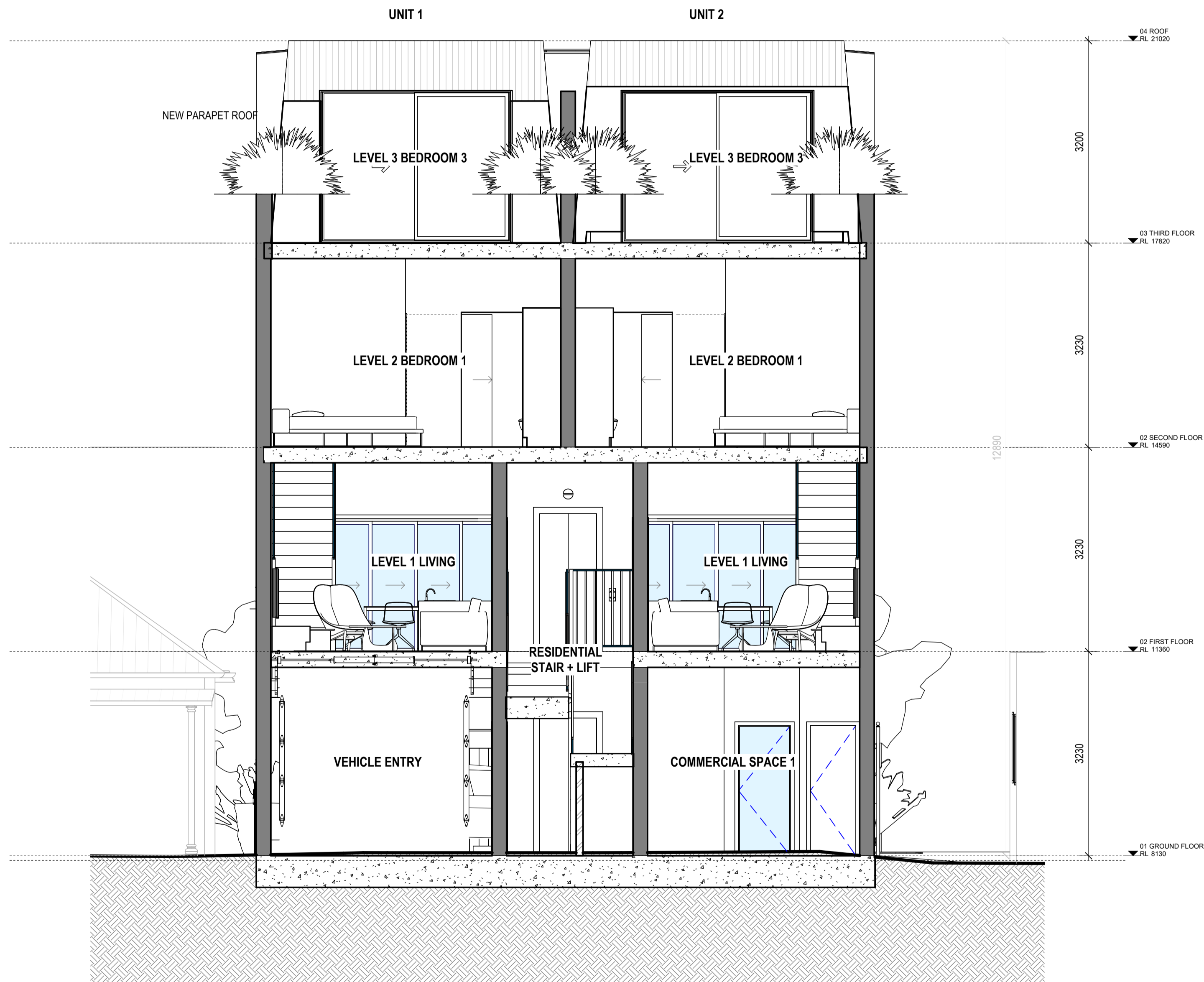
ALL PLANS TO BE PRINTED IN COLOR FOR REVIEW
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New Shop Top Housing at 1061 Botany Road, Mascot
LONG SECTIONS
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 Nominated Architect Laurie Liskowski 4224

Scale: 1:100 @ A1
 Date: 10.03.2023
 Drawing Number: 211101 DA300 A



1 CROSS SECTION 1
1:50



2 CROSS SECTION 2
1:50

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APPROVED: Approver

New Shop Top Housing at 1061 Botany Road, Mascot

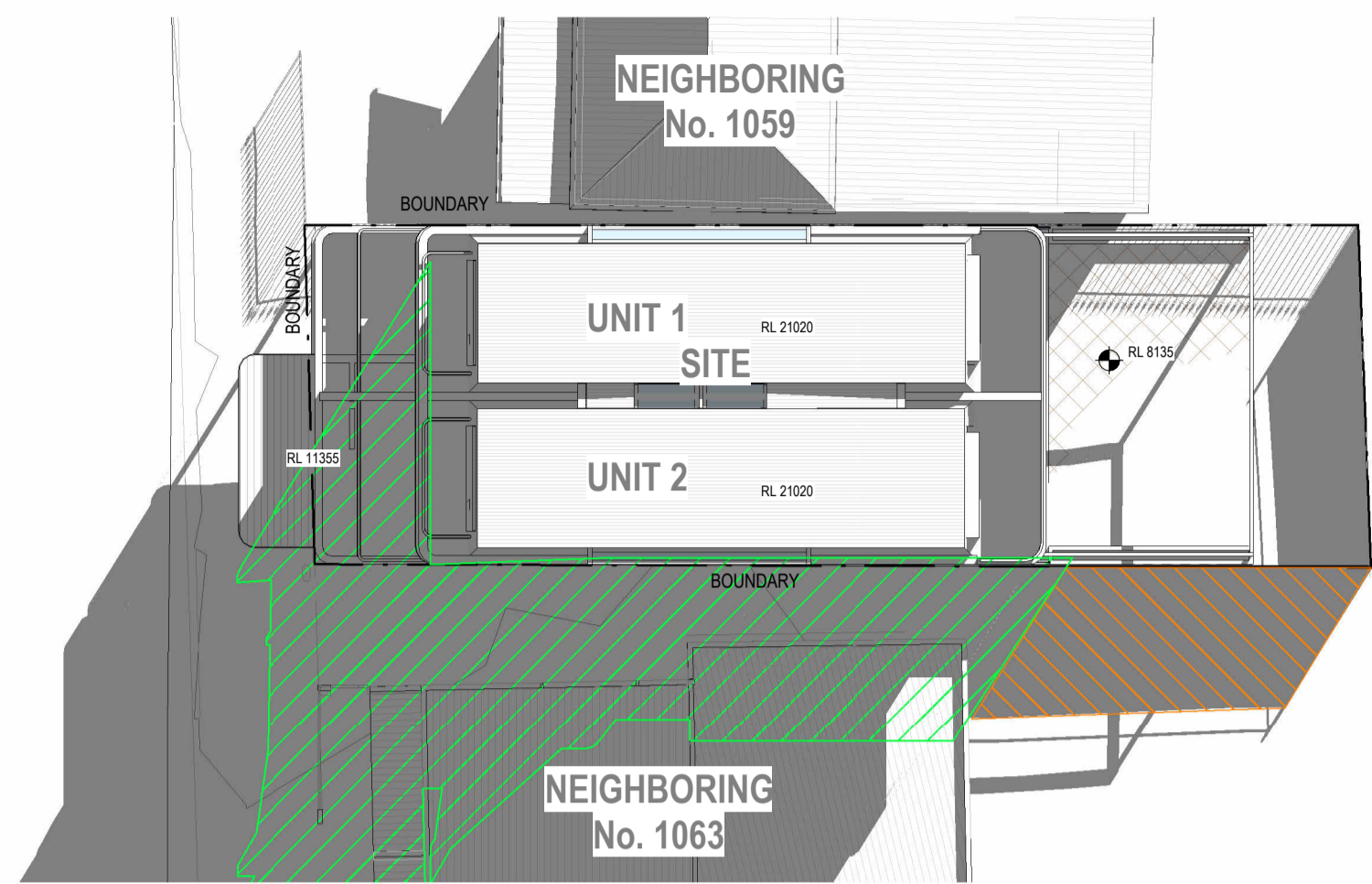
CROSS SECTIONS

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 Nominated Architect Laurie Liskowski 4224

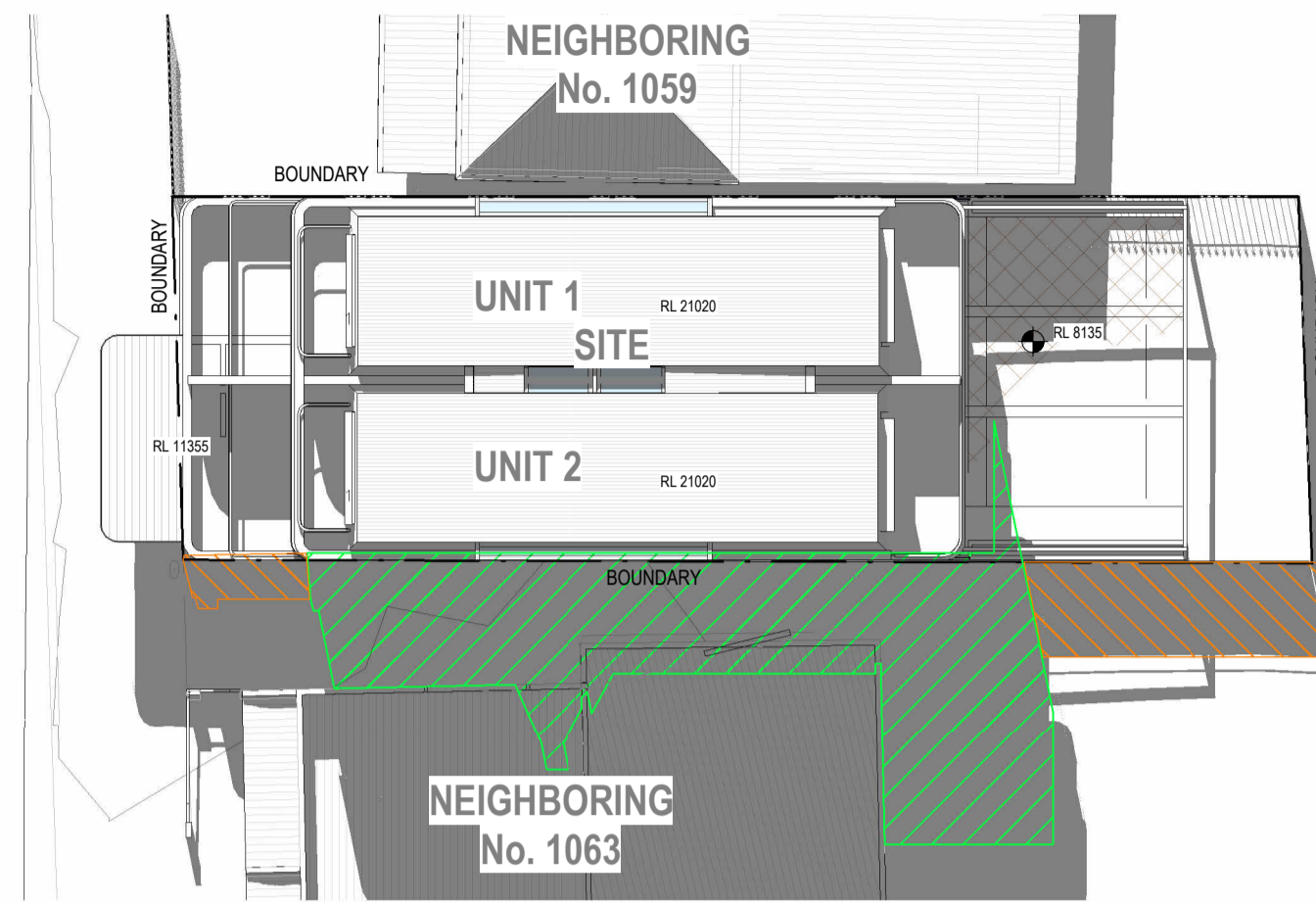
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Date: 10.03.2023

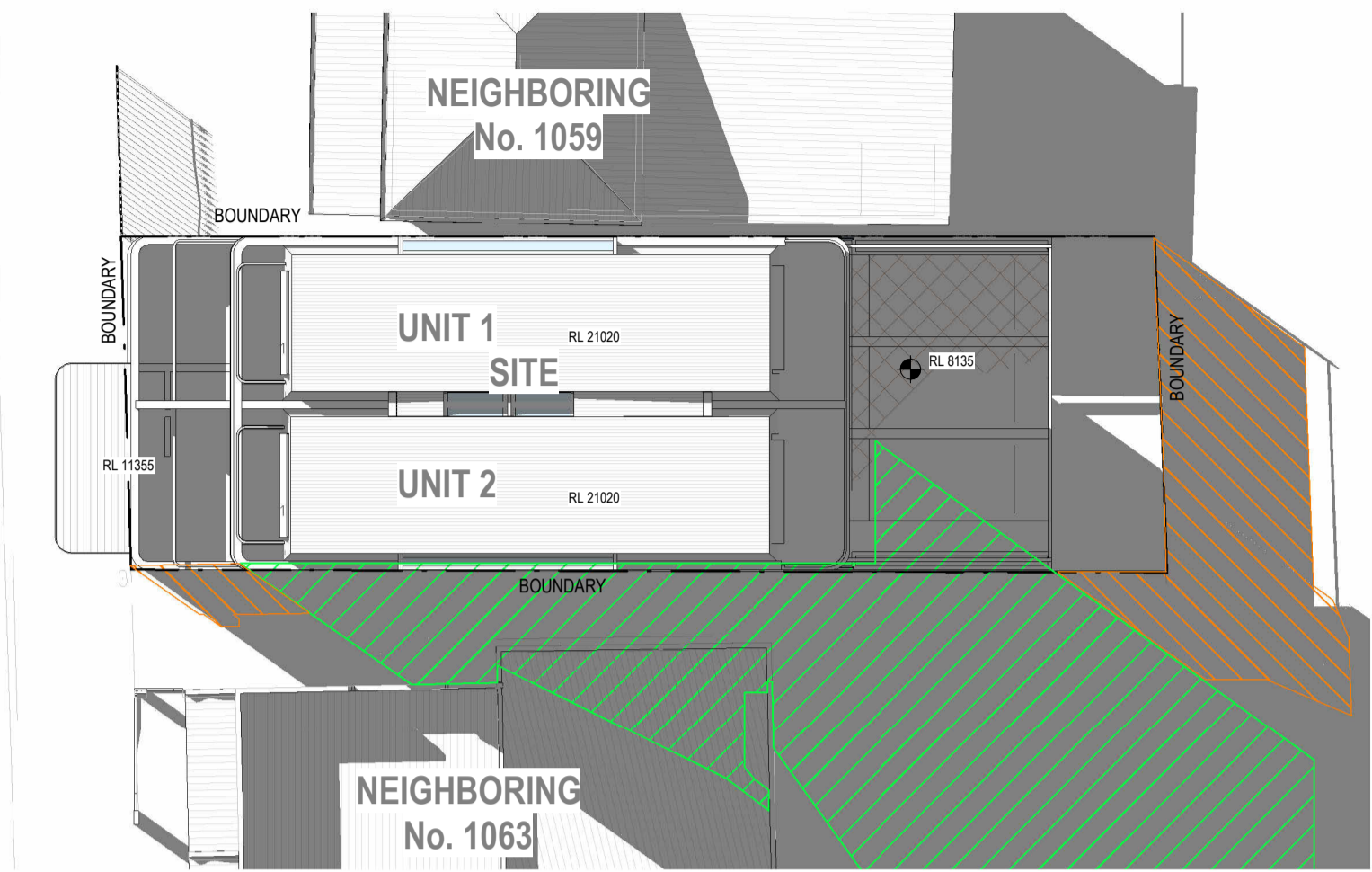
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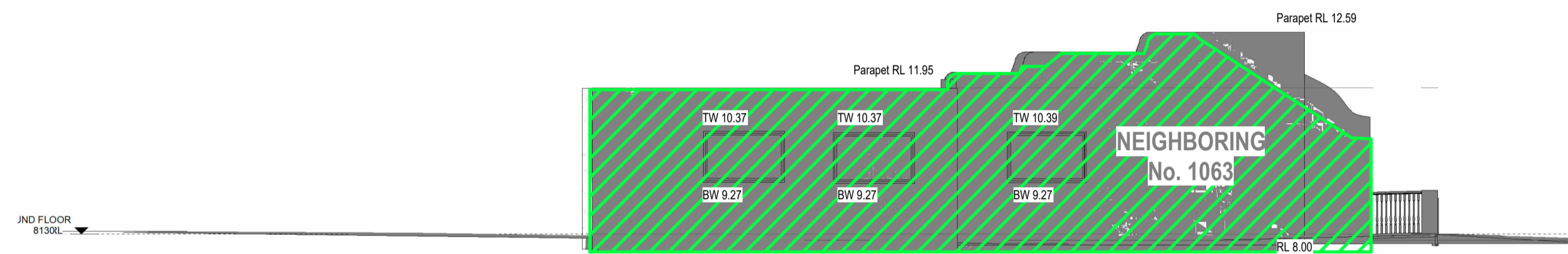
1 Shadow Plan - 9AM
1:200



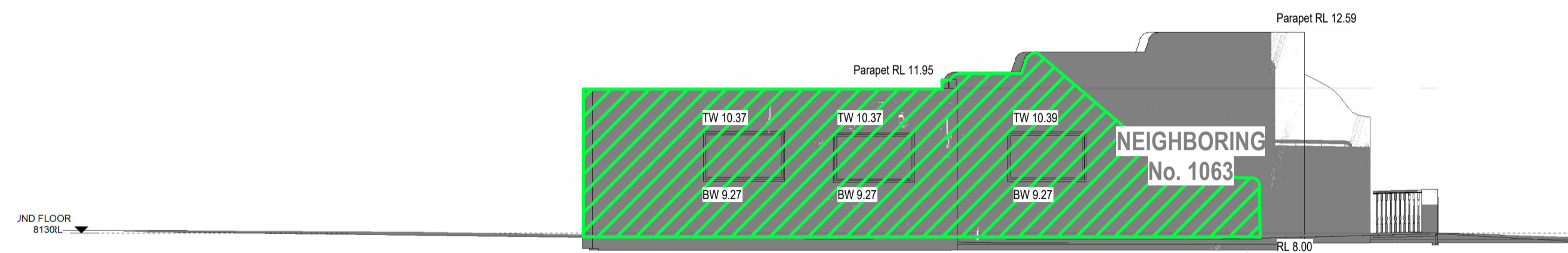
2 Shadow Plan - 12NOON
1:200



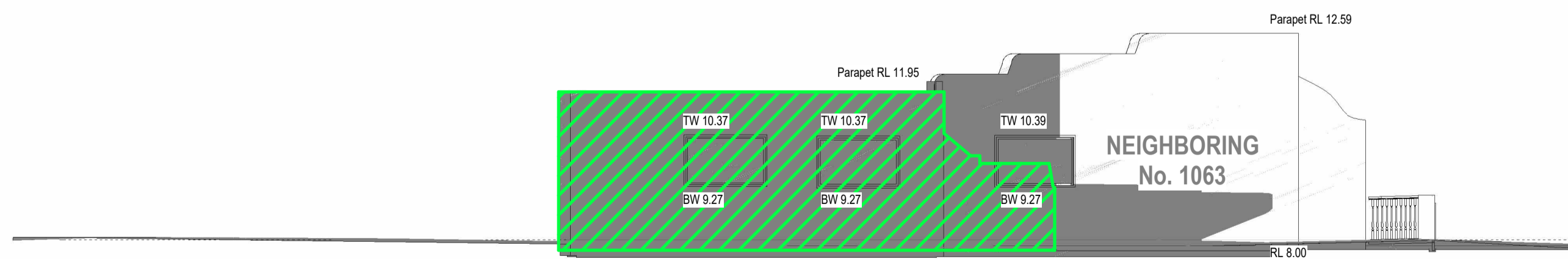
3 Shadow Plan - 3PM
1:200



4 Shadow Elevation - North (9am)



5 Shadow Elevation - North (12noon)



6 Shadow Elevation - North (3pm)

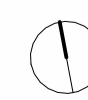
LEGEND	
	EXISTING SITE SHADOW
	EXISTING NEIGHBOR SHADOW
	EXISTING FENCING SHADOW
	PROPOSED FENCING SHADOW
	PROPOSED SHADOWING

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TRUE NORTH



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APPROVED:	Approver

New Shop Top Housing at 1061 Botany Road, Mascot

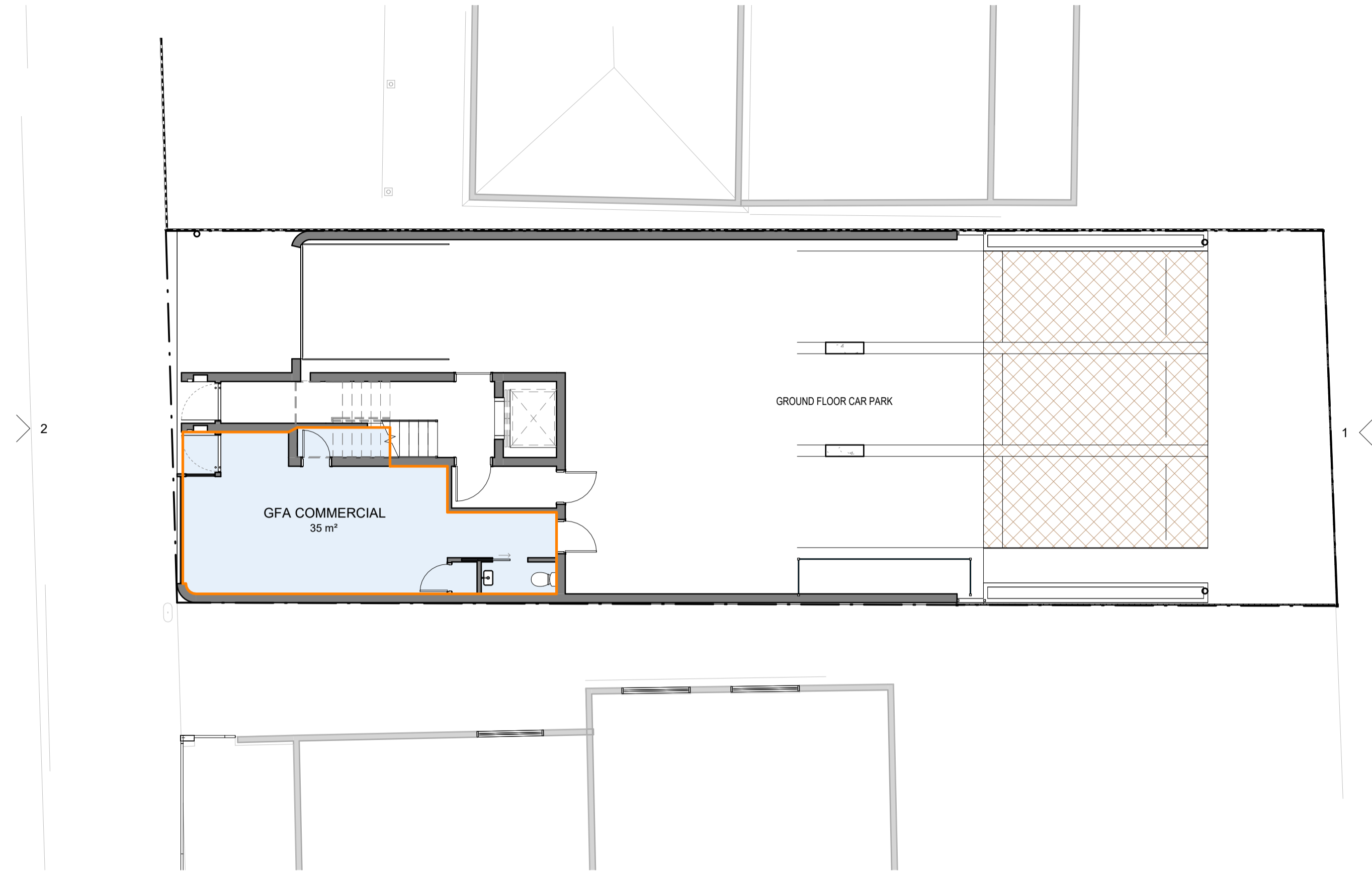
SHADOW DIAGRAMS

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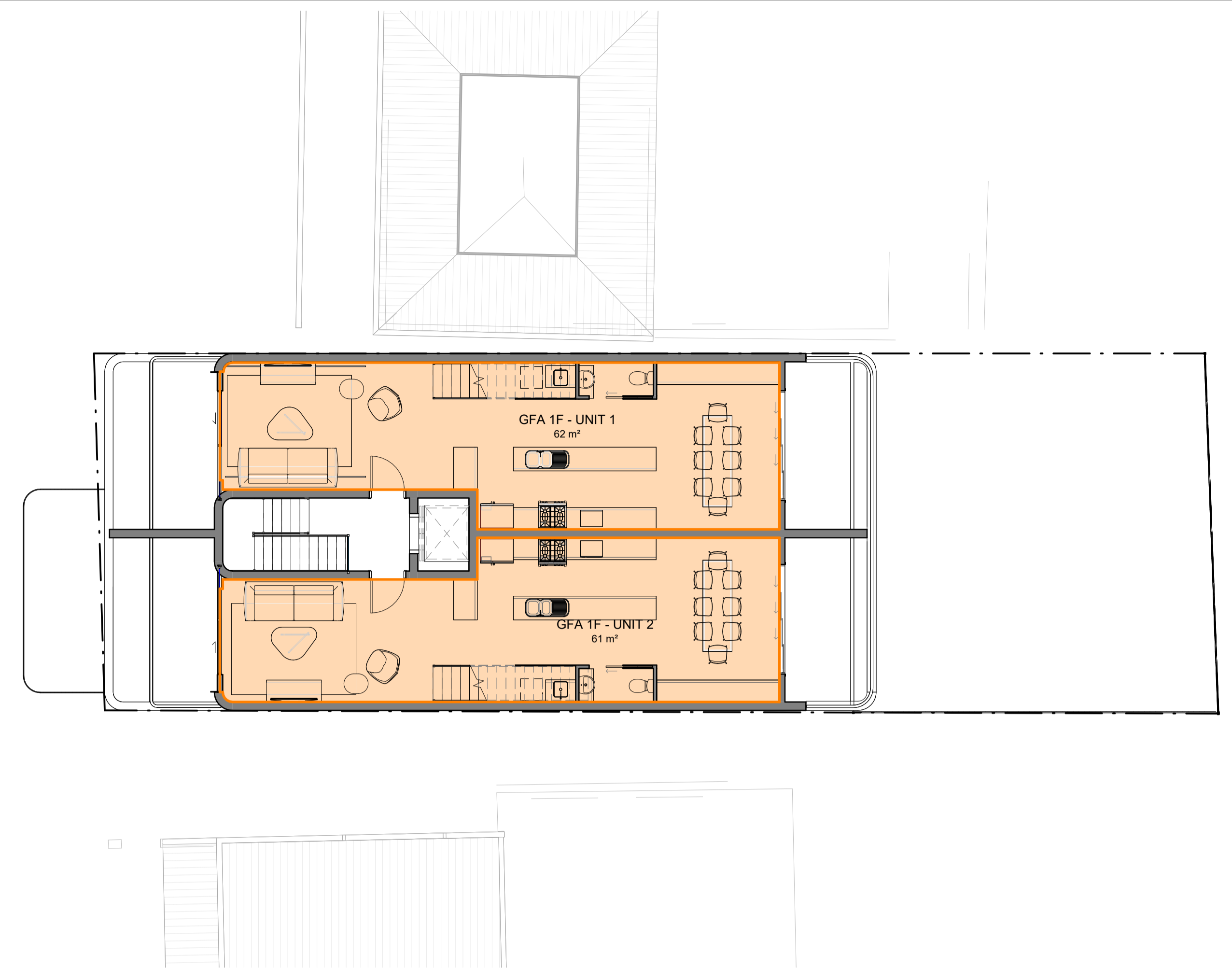
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Date: 10.03.2023

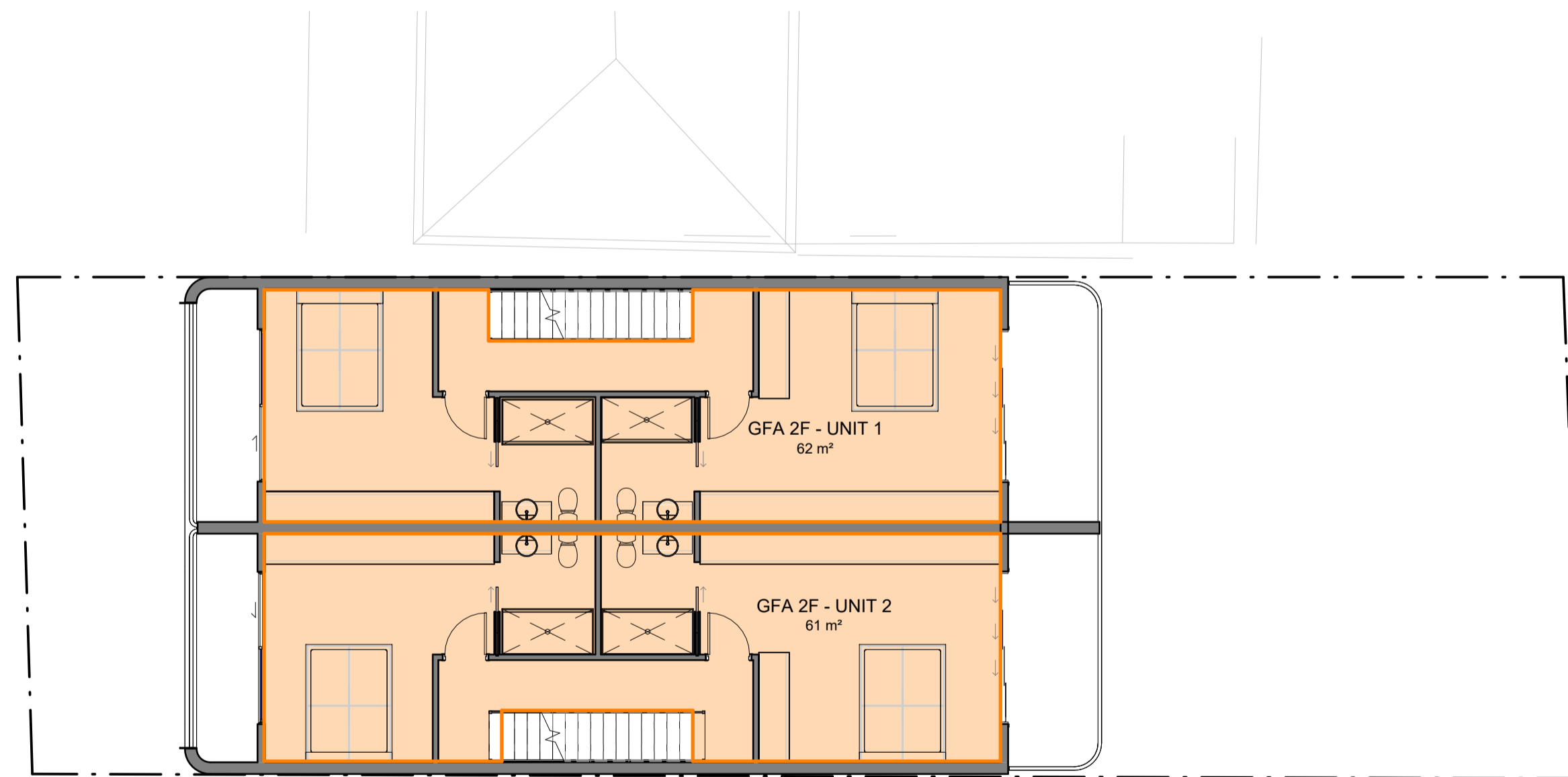
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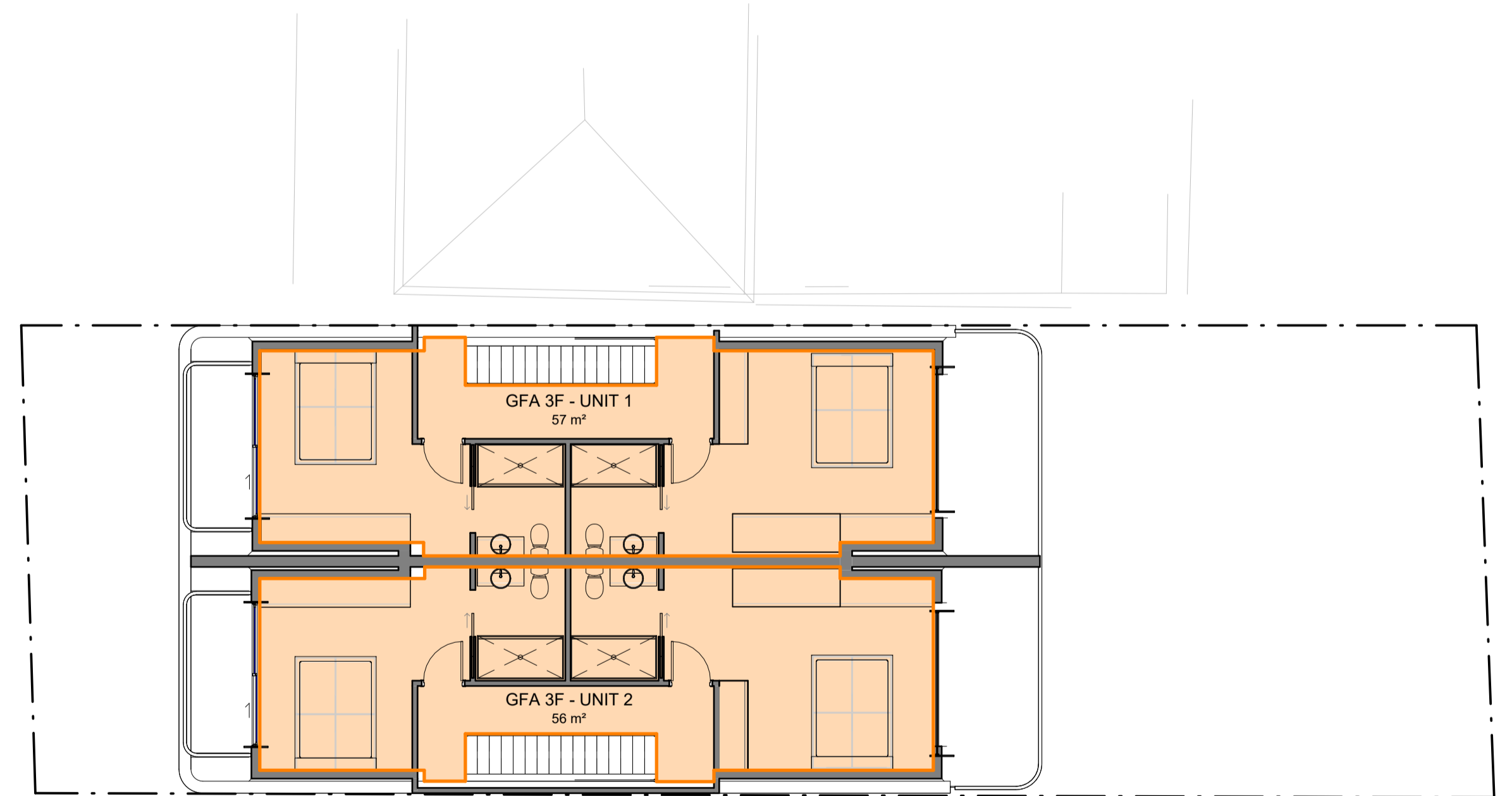
1 GROUND FLOOR GFA
1:100



2 FIRST FLOOR GFA
1:100



3 SECOND FLOOR GFA
1:100



4 THIRD FLOOR GFA
1:100

GROSS FLOOR AREA
■ Building Common Area
■ Floor Area

Area Schedule (GFA)

1F - UNIT 1	62 m²
1F - UNIT 2	61 m²
2F - UNIT 1	62 m²
2F - UNIT 2	61 m²
3F - UNIT 1	57 m²
3F - UNIT 2	56 m²
COMMERCIAL	35 m²

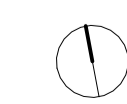
SITE AREA 299.2 m²
 PROPOSED GFA 394 m²
 ALLOWABLE FSR 2:1
 ACTUAL FSR 1.31:1

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 CHECKED: Checker
 APPROVED: Approver

New Shop Top Housing at 1061 Botany Road, Mascot

GFA PLANS

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 PH. 02 9212 3266 | E. info@liskowski.com.au | www.liskowski.com.au
 Nominated Architect Laurie Liskowski 4224

Scale: 1:100 @ A1

Date: 10.03.2023

Drawing Number: 211101 DA411 A

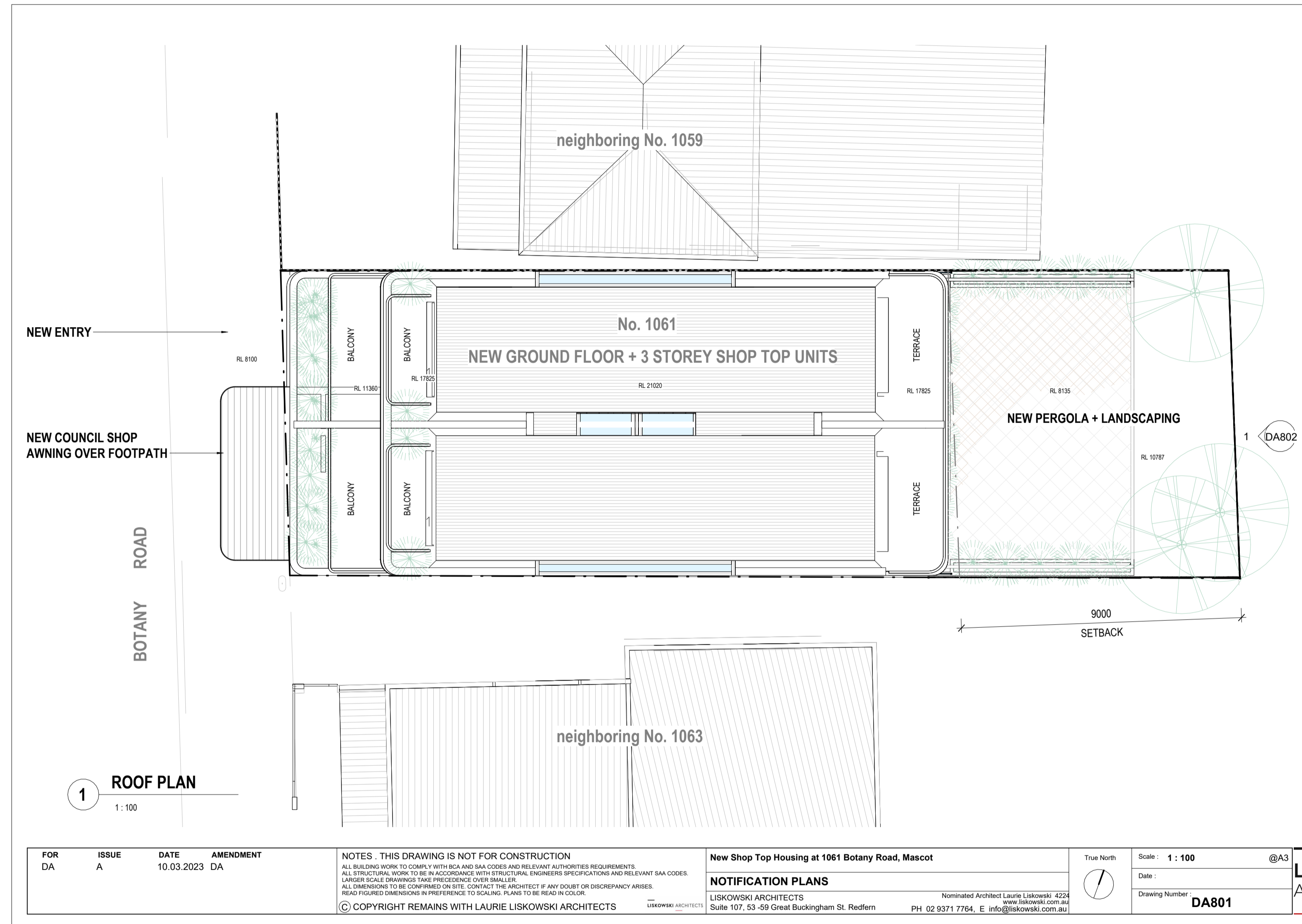
PROPOSED ALTERATIONS AND ADDITIONS AT 1061 BOTANY ROAD, MASCOT



DRAWING LIST - NOTIFICATION

		REVISION		
DA800	NOTIFICATION TITLE AND SHEET LIST	A	DA	10.03.2023
DA801	NOTIFICATION PLANS	A	DA	10.03.2023
DA802	NOTIFICATION ELEVATIONS	A	DA	10.03.2023

FOR DA	ISSUE A	DATE 10.03.2023	AMENDMENT DA	NOTES: THIS DRAWING IS NOT FOR CONSTRUCTION ALL BUILDING WORK TO COMPLY WITH BCA AND SAA CODES AND RELEVANT AUTHORITIES REQUIREMENTS. ALL STRUCTURAL WORK TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS AND RELEVANT SAA CODES. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER. ALL DIMENSIONS TO BE CONFIRMED ON SITE. CONTACT THE ARCHITECT IF ANY DOUBT OR DISCREPANCY ARISES. READ FIGURED DIMENSIONS IN PREFERENCE TO SCALING. PLANS TO BE READ IN COLOR. © COPYRIGHT REMAINS WITH LAURIE LISKOWSKI ARCHITECTS	New Shop Top Housing at 1061 Botany Road, Mascot	True North	Scale: 1 : 500	@A3
				NOTIFICATION TITLE AND SHEET LIST			Date:	L A
				LISKOWSKI ARCHITECTS Suite 107, 53-59 Great Buckingham St, Redfern	Nominated Architect Laurie Liskowski 4224 www.liskowski.com.au PH 02 9371 7764, E info@liskowski.com.au		Drawing Number: DA800	

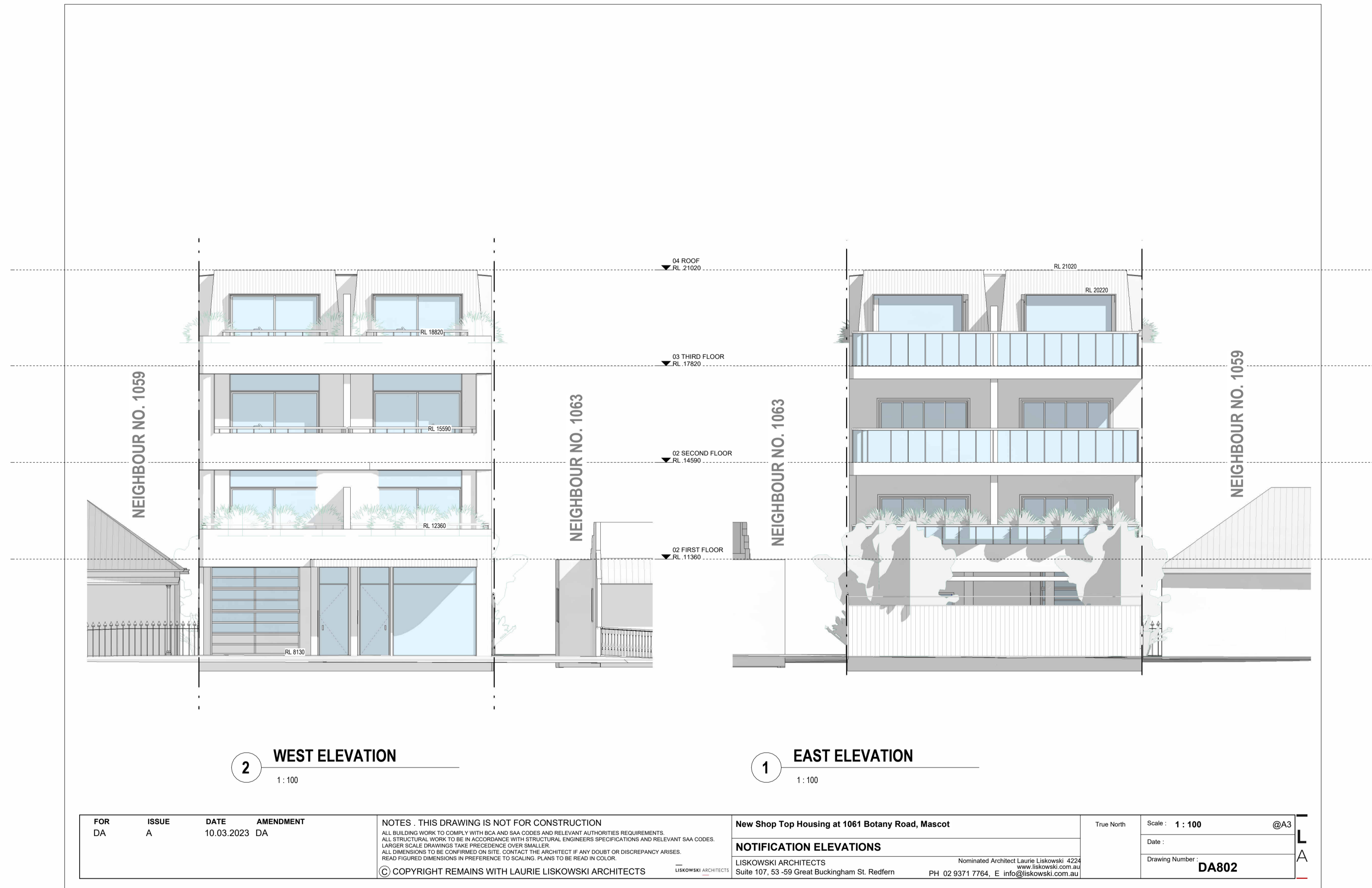


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New Shop Top Housing at 1061 Botany Road, Mascot
NOTIFICATION PLANS
 LISKOWSKI ARCHITECTS
 Suite 107, 53-59 Great Buckingham St. Redfern
 Nominated Architect Laurie Liskowski 4224
 www.liskowski.com.au
 PH 02 9371 7764, E info@liskowski.com.au

True North	Scale: 1 : 100	@A3
Date:		
Drawing Number:	DA801	



2 WEST ELEVATION

1:100

1 EAST ELEVATION

1:100

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							Date:	L A
							Drawing Number: DA802	



NEIGHBORING No. 1059

LARGE PLANTERS WITH CASCADING PLANTING

POWDER COATED BLACK METAL TRIM ON UNDERSIDE OF SLAB

OFF-FORM CONCRETE
NEW LIGHT NEUTRAL ZINC CLAD MANSARD ROOF
GLAZING WITH POWDERCOATED BLACK METAL TRIM FINISHES
PLANTER

OFF-FORM CONCRETE
GLAZING WITH POWDERCOATED BLACK METAL TRIM FINISHES
VERTICAL LINE PANEL

VERTICAL LINE PANEL
GLAZING WITH POWDERCOATED BLACK METAL TRIM FINISHES
CURVED CORNER, WHITE BRICK VENEER
OFF-FORM CONCRETE
PLANTER

NEIGHBORING No. 1063

FULL HEIGHT GLAZED SHOPFRONT WITH POWDERCOATED BLACK METAL TRIM FINISHES

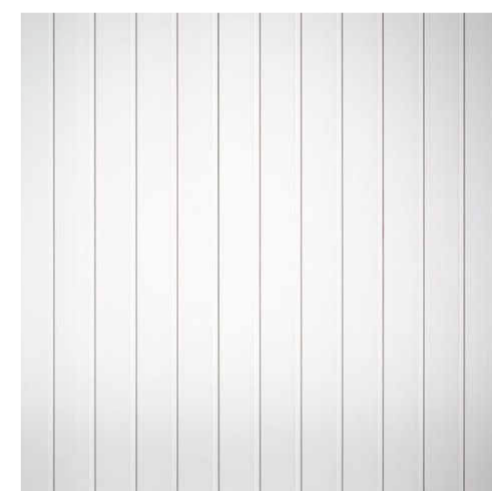
MATERIAL REFERENCE GALLERY



zinc cladding



white brick veneer (w/ trim)



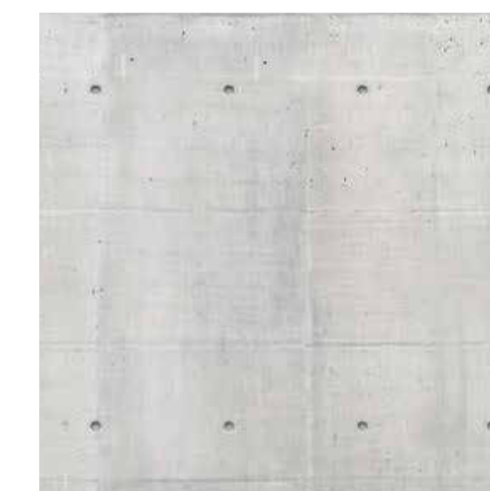
vertical lined panels



planters



dark finish glazing



off-form concrete

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								Approved

New Shop Top Housing at 1061 Botany Road, Mascot

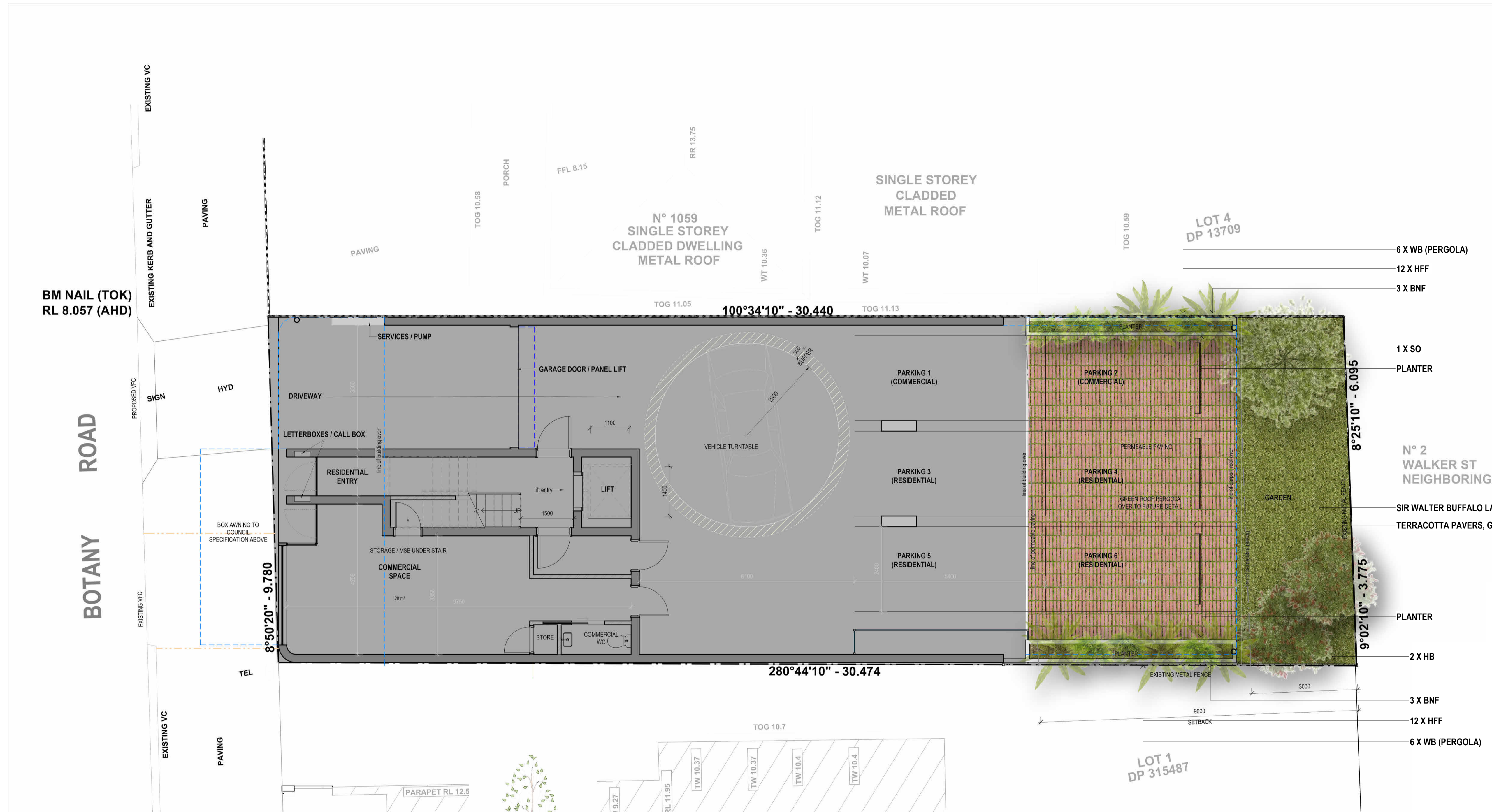
FINISHES SCHEDULE

SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW
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Nominated Architect Laurie Liskowski 4224

Scale: As indicated @ A1

Date: **10.03.2023**

Drawing Number: 211101 **S 100** A



- 6 X WB (PERGOLA)
- 12 X HFF
- 3 X BNF
- 1 X SO
- PLANTER
- N° 2 WALKER ST NEIGHBORING
- SIR WALTER BUFFALO LAWN OR SIMILAR
- TERRACOTTA PAVERS, GAP SET ON AGGREGATE W/ SIR WALTER BUFFALO
- PLANTER
- 2 X HB
- 3 X BNF
- 12 X HFF
- 6 X WB (PERGOLA)

PLANTING LEGEND

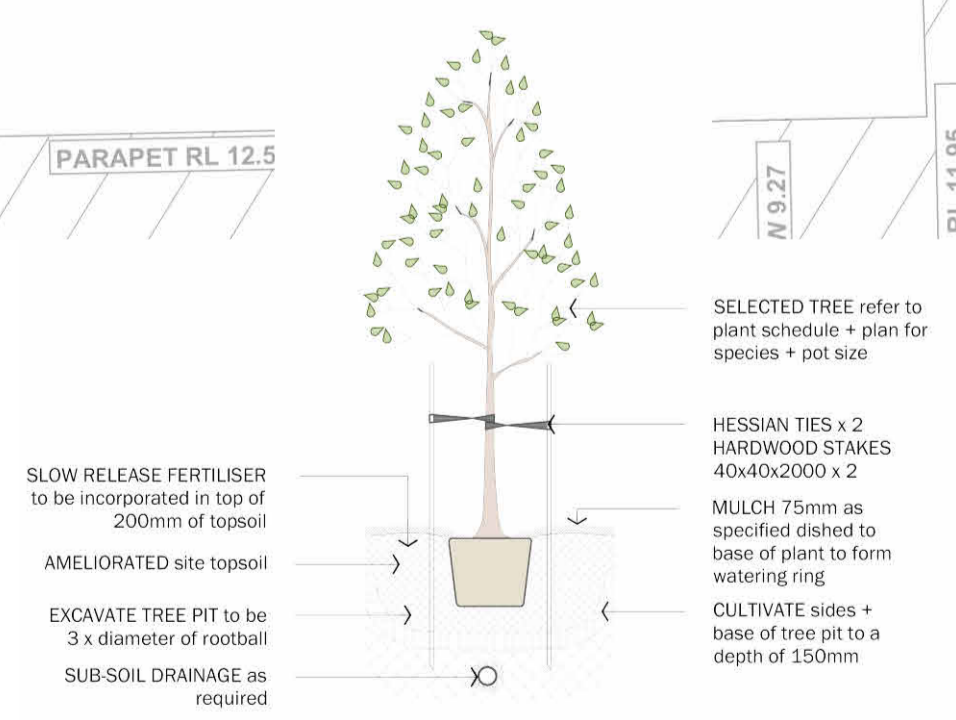


GF PLANTING SCHEDULE

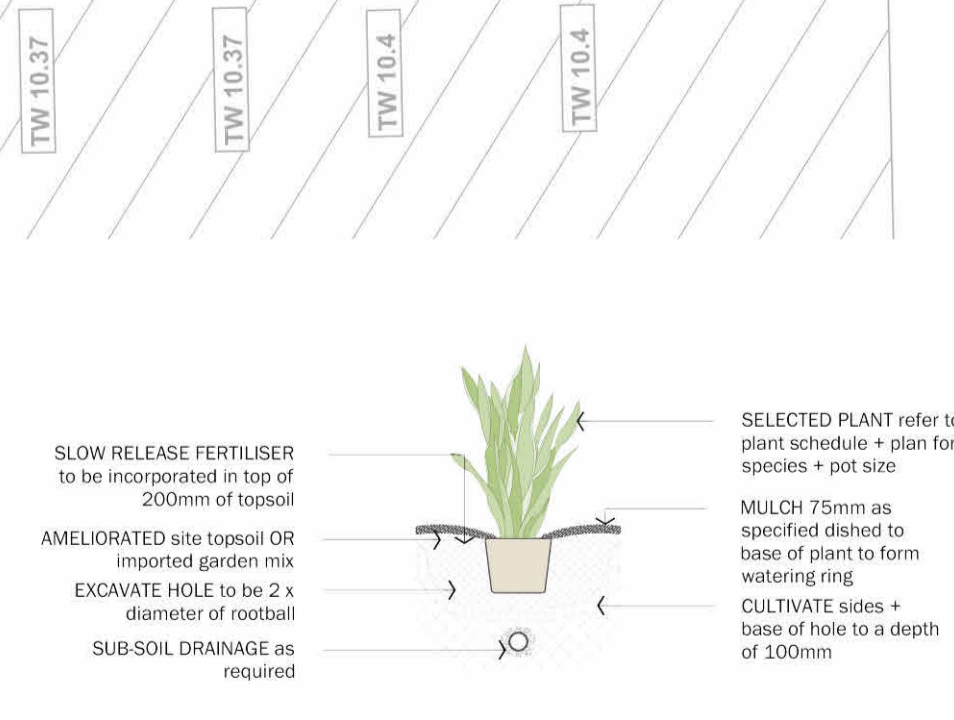
Code	Plant Name	Quantity	Volume
SO	SHE-OAK ; Casuarina glauca	x1	1000 mm
HB	HEATH BANKSIA ; Banksia ericifolia	x2	1000 mm
BNF	BIRDS NEST FERN ; Asplenium australasicum	x6	25 litre
HFF	HARES FOOT FERN ; Davallia solida	x24	15 litre
WB	WARABURRA ; Hardenbergia violacea	x12	15 litre

7 GF - LANDSCAPE
NOT TO SCALE

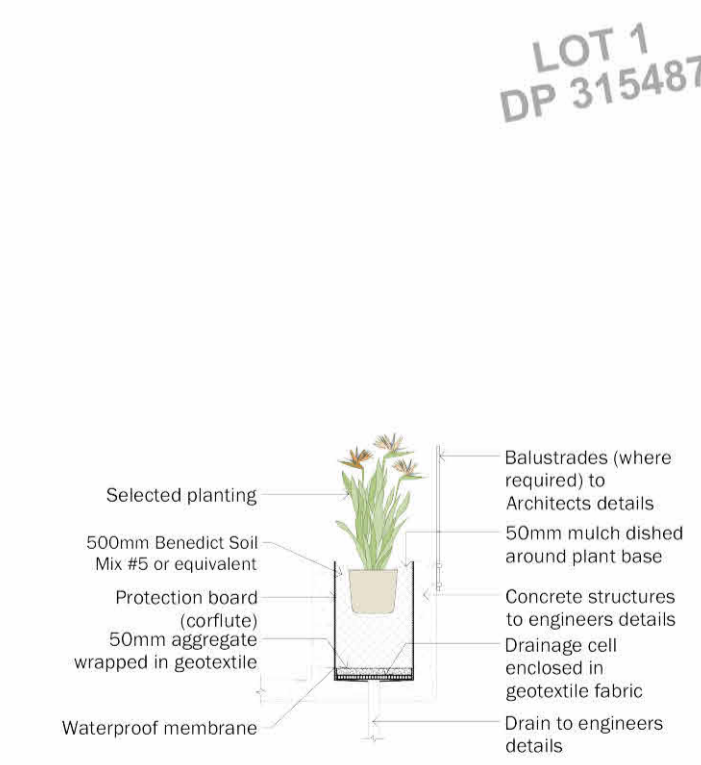
01 TREES
PLANTING DETAIL 1:50



02 SHRUBS + PERENNIALS
PLANTING DETAIL 1:50



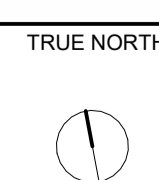
03 ON STRUCTURE PLANTER
TYPICAL DETAIL 1:50



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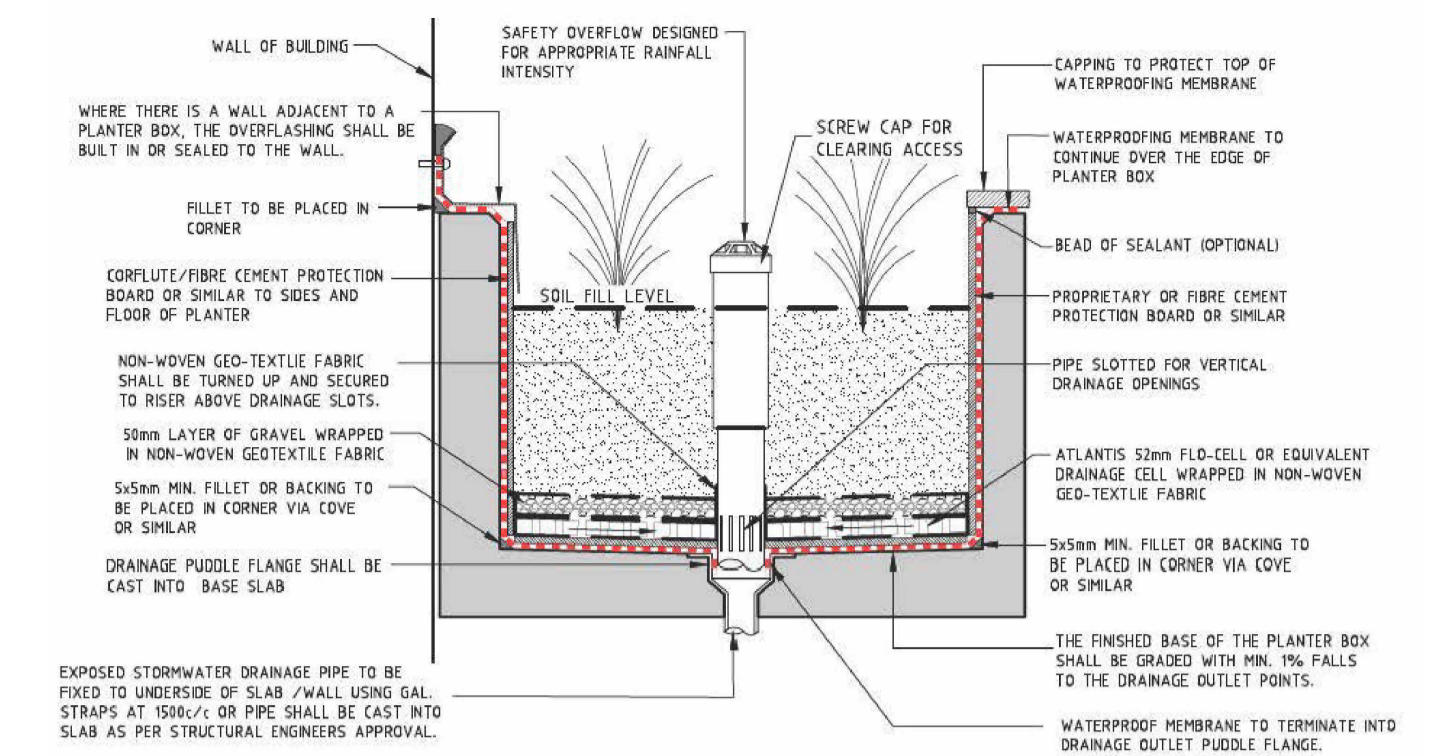
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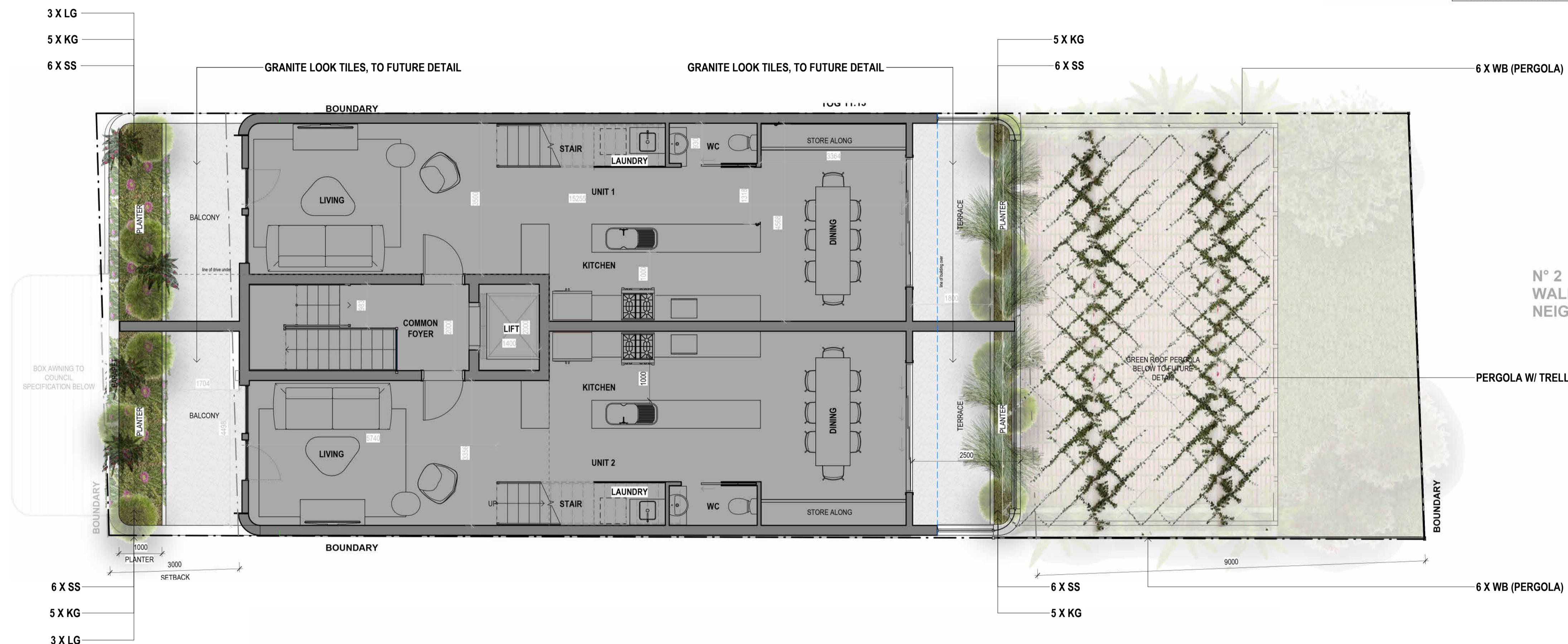
New Shop Top Housing at 1061 Botany Road, Mascot
GROUND FLOOR LANDSCAPE PLAN
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 Nominated Architect Laurie Liskowski 4224

Scale: As indicated @ A1
 Date: 10.03.2023
 Drawing Number: 211101 L 100 A



TYPICAL PLANTER BOX DRAINAGE DETAIL (PG)
NOT TO SCALE

- PLANTER BOX NOTES:-
1. THE PLANTER BOX SHOULD BE PROVIDED WITH A SUITABLE OVERFLOW.
 2. PROTECTION BEARDS SHOULD BE PROVIDED TO MINIMIZE ROOT DAMAGE TO THE WATERPROOFING MEMBRANE. THE SUITABILITY OF THE PLANTS TO BE INSTALLED SHOULD BE CONSIDERED, AS CERTAIN ROOTING SYSTEMS ARE AGGRESSIVE AND MAY PENETRATE THE MEMBRANE.
 3. MULCH SHOULD BE CONSIDERED WHEN DETERMINING THE SOIL FILL LEVEL.
 4. EXTERNALLY EXPOSED WALLS OF PLANTER BOXES SHOULD BE WATERPROOFED TO PREVENT FAILURE OF THE INTERNAL PLANTER BOX MEMBRANE.
 5. THE BASE OF THE PLANTER BOX SHALL BE PROVIDED WITH FALLS IN THE STRUCTURAL SUBSTRATE TOWARDS THE DRAINAGE OUTLET OF MINIMUM 1% (1 IN 100).

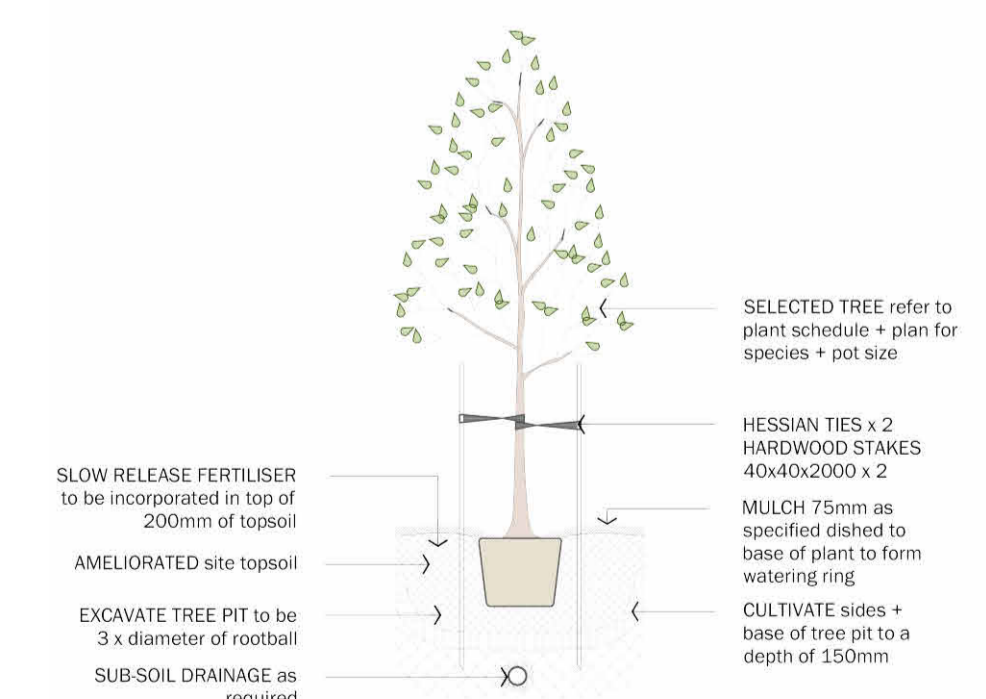


PLANTING LEGEND

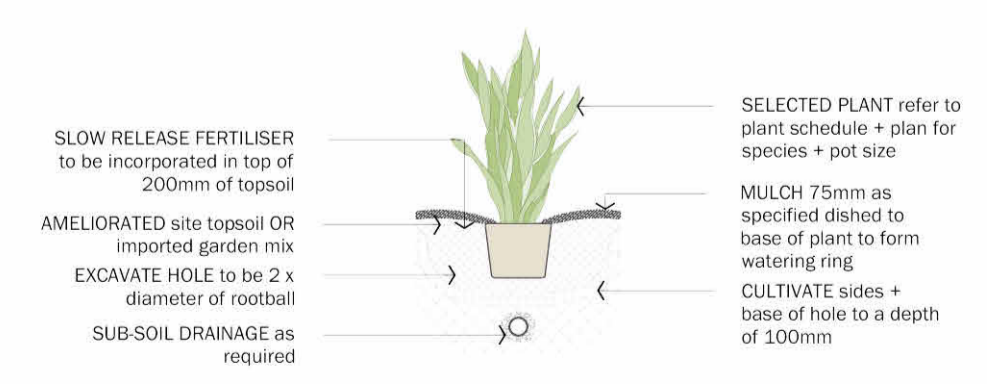


1F PLANTING SCHEDULE

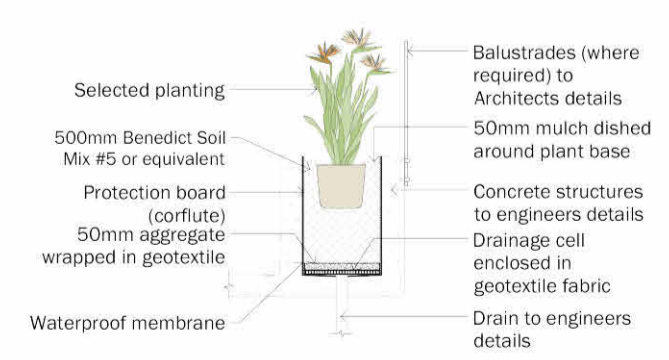
SS	SHAGPILE SHE-OAK; Casuarina glauca	x24	15 litre
LG	LAURELLEAF GREVILLEA; Grevillea laurifolia	x6	100 mm
LG	KANGAROO GRASS; Themeda triandra	x20	10 litre



01 TREES
PLANTING DETAIL 1:50



02 SHRUBS + PERENNIALS
PLANTING DETAIL 1:50



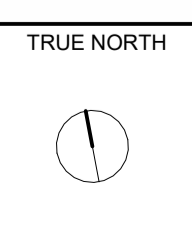
03 ON STRUCTURE PLANTER
TYPICAL DETAIL 1:50

1 1F - LANDSCAPE
NOT TO SCALE

ALL PLANS TO BE PRINTED IN COLOR FOR REVIEW
- ALL BUILDING WORK TO COMPLY WITH BCA AND AS CODES AND RELEVANT AUTHORITIES REQUIREMENTS.
- ALL STEEL, CONCRETE AND TIMBER WORK TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS SPECIFICATIONS AND RELEVANT SAA CODES.
- LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE. CONTACT THE ARCHITECT IF ANY DOUBT OR DISCREPANCY ARISES.
- READ FIGURED DIMENSIONS IN PREFERENCE TO SCALING.

LISKOWSKI ARCHITECTS

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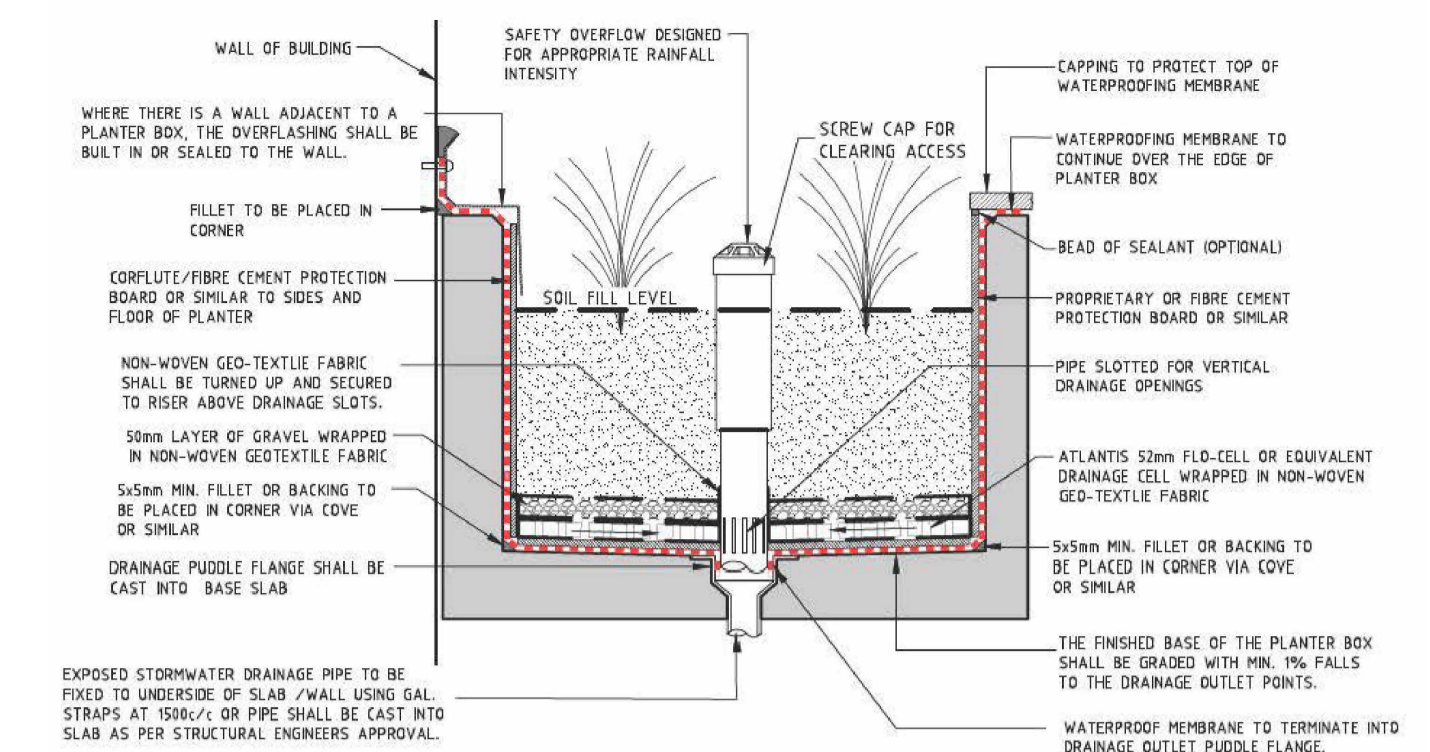


FOR	ISSUE	DATE	AMENDMENT	FOR	ISSUE	DATE	AMENDMENT
DA	A	10.03.2023	DA				

DRAFTING
DRAWN: MM
CHECKED:
APPROVED: Approver

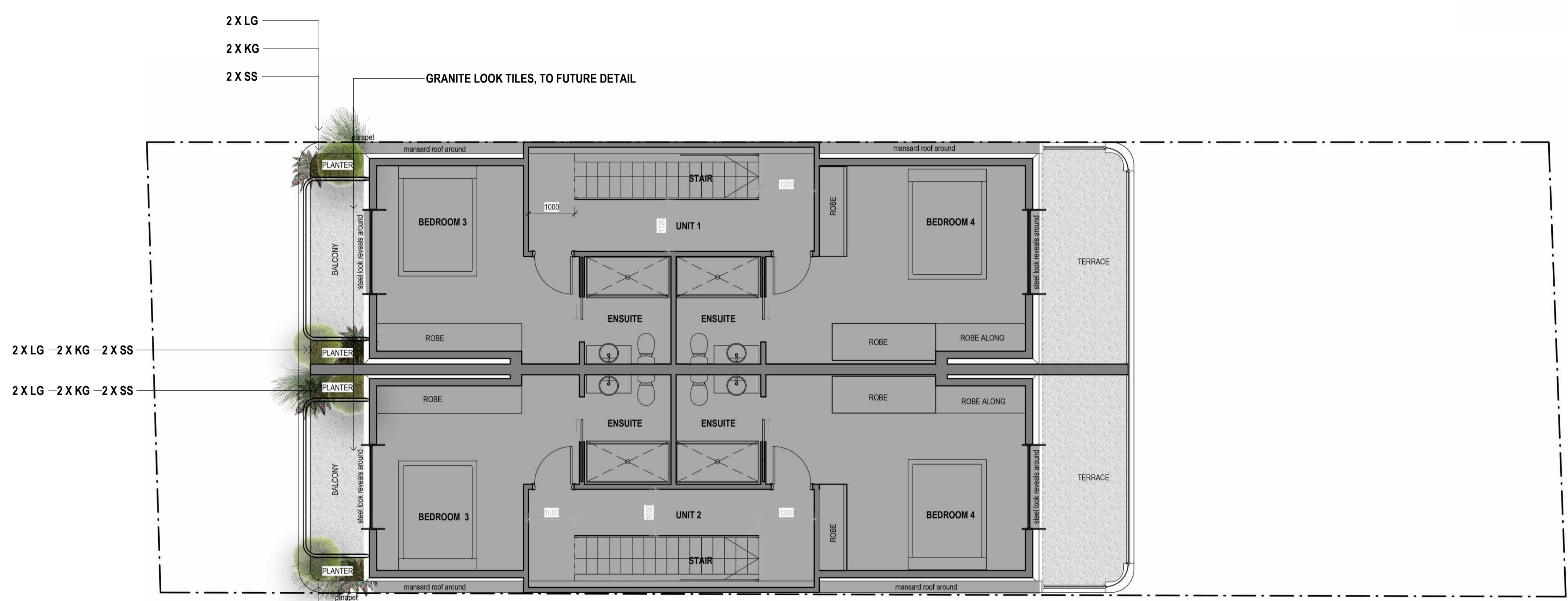
New Shop Top Housing at 1061 Botany Road, Mascot
FIRST FLOOR LANDSCAPE PLAN
SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW
PH. 02 9212 3266 | E. info@liskowski.com.au | www.liskowski.com.au
Nominated Architect Laurie Liskowski 4224

Scale: As indicated @ A1
Date: 10.03.2023
Drawing Number: 211101 L 101 A



TYPICAL PLANTER BOX DRAINAGE DETAIL (PG)
NOT TO SCALE

- PLANTER BOX NOTES:-
1. THE PLANTER BOX SHOULD BE PROVIDED WITH A SUITABLE OVERFLOW.
 2. PROTECTION BOARDS SHOULD BE PROVIDED TO MINIMIZE ROOT DAMAGE TO THE WATERPROOFING MEMBRANE. THE SATURABILITY OF THE PLANTS TO BE INSTALLED SHOULD BE CONSIDERED, AS CERTAIN ROOTING SYSTEMS ARE AGGRESSIVE AND MAY PENETRATE THE MEMBRANE.
 3. MS-125 SHOULD BE CONSIDERED WHEN DETERMINING THE SOIL FILL LEVEL.
 4. EXTERNALLY EXPOSED WALLS OF PLANTER BOXES SHOULD BE WATERPROOFED TO PREVENT FAILURE OF THE INTERNAL PLANTER BOX MEMBRANE.
 5. THE BASE OF THE PLANTER BOX SHALL BE PROVIDED WITH FALLS IN THE STRUCTURAL SUBSTRATE TOWARDS THE DRAINAGE OUTLET OF MINIMUM 1% (1 IN 100).

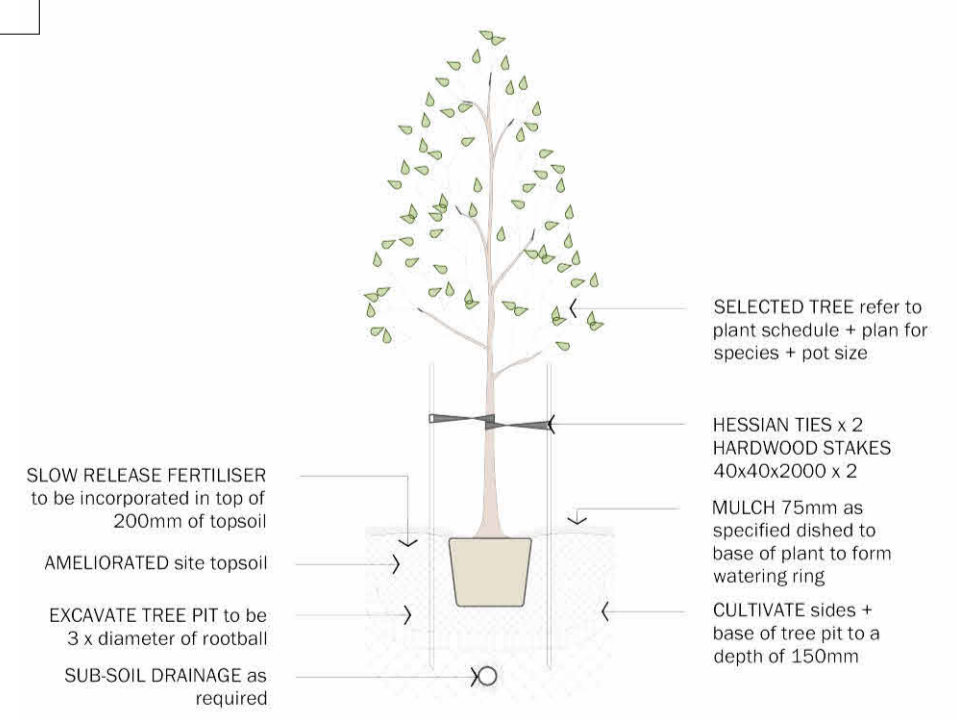


PLANTING LEGEND

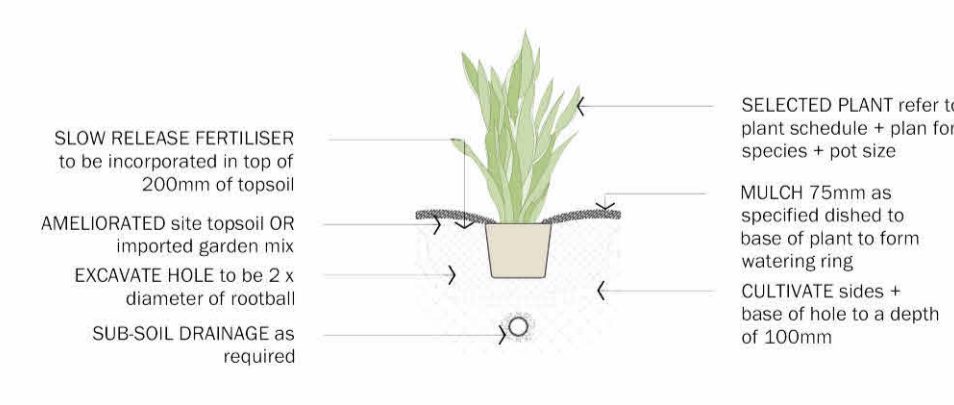


3F PLANTING SCHEDULE

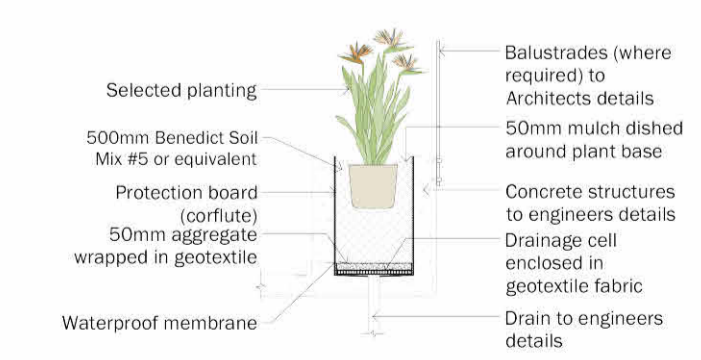
SS	SHAGPILE SHE-OAK ; Casuarina glauca	x 4	15 litre
LG	LAURELLEAF GREVILLEA ; Grevillea laurifolia	x 4	100 mm
LG	KANGAROO GRASS ; Themeda triandra	x 4	10 litre



01 TREES
PLANTING DETAIL 1:50



02 SHRUBS + PERENNIALS
PLANTING DETAIL 1:50



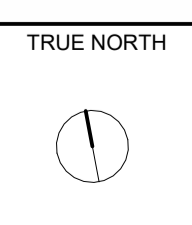
03 ON STRUCTURE PLANTER
TYPICAL DETAIL 1:50

1 3F - LANDSCAPE
NOT TO SCALE

ALL PLANS TO BE PRINTED IN COLOR FOR DA
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DA	A	10.03.2023	DA				

New Shop Top Housing at 1061 Botany Road, Mascot
Scale: As indicated @ A1
Date: 10.03.2023
Drawing Number: 21101 L 102 A
THIRD FLOOR LANDSCAPE PLAN
SUITE 107 LEVEL 1, 53-59 GREAT BUCKINGHAM ST. REDFERN HILLS, NSW
PH. 02 9212 3266 | E. info@liskowski.com.au | www.liskowski.com.au
Nominated Architect Laurie Liskowski 4224